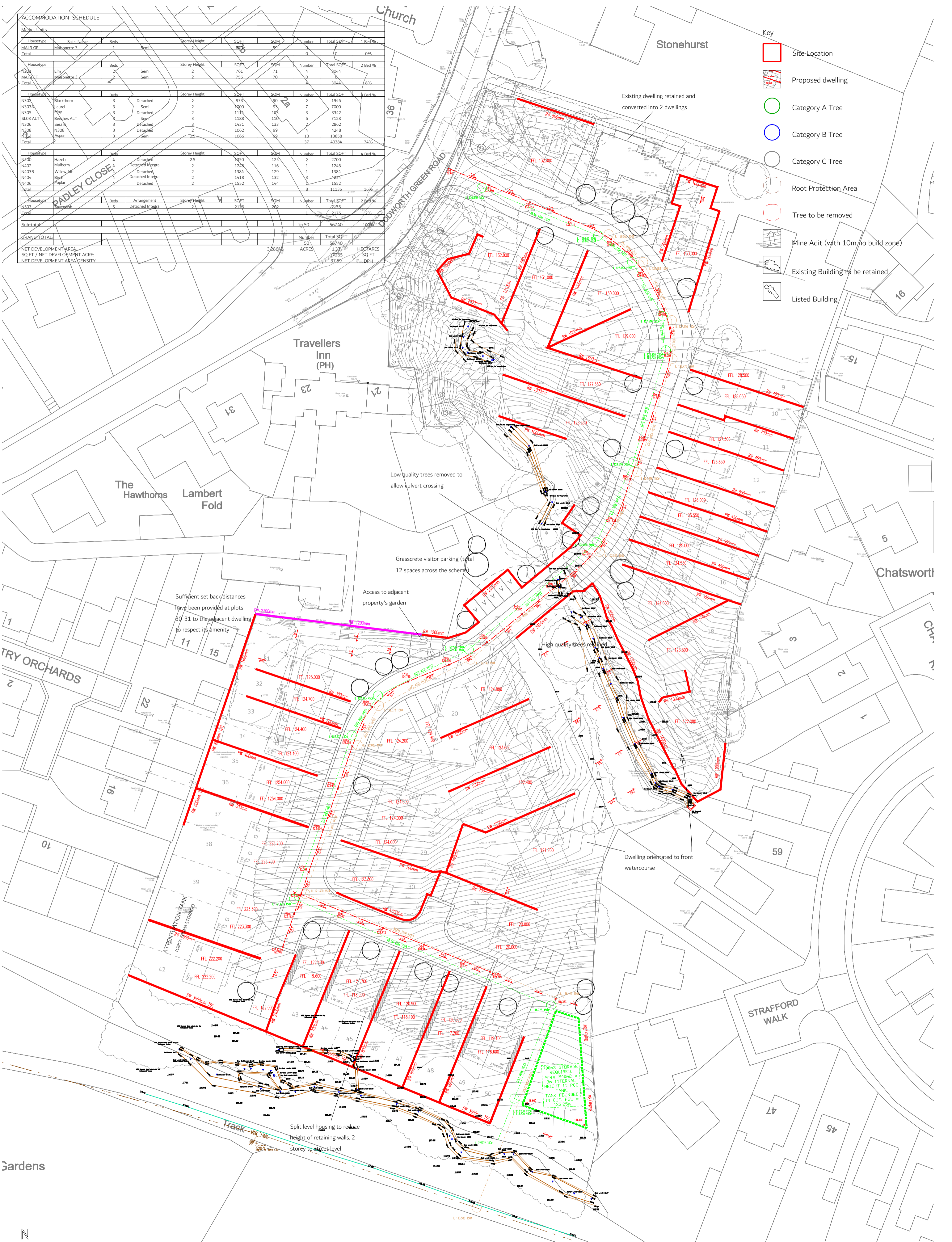
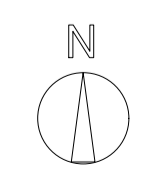


ACCOMMODATION SCHEDULE									
Market Units									
HouseType	Sales Nbr	Beds	Storey Height	SQFT	SQM	Number	Total SQFT	1 Bed %	
MAL 2 GF	Maisonette 2	1	2	761	70	0	0	0%	
Total									
2 Bed %									
HouseType	Sales Nbr	Beds	Storey Height	SQFT	SQM	Number	Total SQFT	2 Bed %	
N300	Backhorn	3	2	973	90	2	1946		
N303A	Laurel	3	2	1000	98	7	7000		
N305	Key	3	2	1174	107	3	3522		
SL03 ALT	Beaches ALT	3	2	1188	110	6	7128		
N306	Sensale	3	2	1431	132	2	2862		
N308	N308	3	2	1062	99	4	4248		
N31	Aspen	3	2	1066	99	13	13858		
Total									
Sub-total									
Grand Total									
NET DEVELOPMENT AREA - SQ FT / NET DEVELOPMENT ACRE									
NET DEVELOPMENT AREA DENSITY									

- Key**
- Site Location
 - Proposed dwelling
 - Category A Tree
 - Category B Tree
 - Category C Tree
 - Root Protection Area
 - Tree to be removed
 - Mine Adit (with 10m no build zone)
 - Existing Building to be retained
 - Listed Building



Gardens



DRAFT
 Drawing Title
 Engineering feasibility
 Site
 Land off Green Road, Dodworth

Thorpe Arch Grange
 Walton Road
 Thorp Arch
 LS23 7BA
 01937 543599
 www.newthomes.co.uk

Scale @ A2	1:500	Date	14/04/22
Drawn	MC	Checked	WN
Drawing No.	KA.001	Rev.	