

3.0 Design Proposal

3.4 Facade Treatment - House Type 1a (NTS)



Key:

- | | | |
|---|---|---|
| ① Multi red brick with light / natural mortar. | ④ Composite front door with sidelight. | ⑧ Sills, flashings, rainwater good and trims to match windows; dark grey. |
| ② Continuous soldier course at ground floor window head level in smooth face red brick. | ⑤ PPC aluminium windows; dark grey. | ⑨ White / Off-white through colour render |
| ③ Soldier coursing and stack bonded detailing around openings in smooth face red brick. | ⑥ PV Panels to roof | |
| | ⑦ PPC aluminium canopy over front door. | |

3.0 Design Proposal

3.4 Facade Treatment - House Type 1a (NTS)



Key:

- | | | |
|---|---|---|
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| ③ Soldier coursing and stack bonded detailing around openings in smooth face red brick. | ⑥ PV Panels to roof | |
| | ⑦ PPC aluminium canopy over front door. | |

3.0 Design Proposal

3.4 Facade Treatment - House Type 1b (NTS)



Key:

- | | | |
|---|---|---|
| ① Multi red brick with light / natural mortar. | ④ Composite front door with sidelight. | ⑧ Sills, flashings, rainwater good and trims to match windows; dark grey. |
| ② Continuous soldier course at ground floor window head level in smooth face red brick. | ⑤ PPC aluminium windows; dark grey. | ⑨ White / Off-white through colour render |
| ③ Soldier coursing and stack bonded detailing around openings in smooth face red brick. | ⑥ PV Panels to roof | |
| | ⑦ PPC aluminium canopy over front door. | |

3.0 Design Proposal

3.4 Facade Treatment - House Type 1b (NTS)



Key:

- | | | |
|---|---|---|
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| ② Continuous soldier course at ground floor window head level in smooth face red brick. | ⑤ PPC aluminium windows; dark grey. | ⑨ White / Off-white through colour render |
| ③ Soldier coursing and stack bonded detailing around openings in smooth face red brick. | ⑥ PV Panels to roof | |
| | ⑦ PPC aluminium canopy over front door. | |

3.0 Design Proposal

3.4 Facade Treatment - Type 1a



Key:

- ① Multi red brick with light / natural mortar.
- ② Continuous soldier course at ground floor window head level in smooth face red brick.
- ③ Soldier coursing and stack bonded detailing around openings in smooth face red brick.
- ④ Composite front door with sidelight.
- ⑤ PPC aluminium windows; dark grey.
- ⑥ Dwarf wall in red multi brick with rowlock header course and painted metal railing above.
- ⑦ PPC aluminium canopy over front door.
- ⑧ Sills, flashings, rainwater good and trims to match windows; dark grey.



3.0 Design Proposal

3.4 Facade Treatment - Type 1b



Key:

- ① Multi red brick with light / natural mortar.
- ② Continuous soldier course at ground floor window head level in smooth face red brick.
- ③ Soldier coursing and stack bonded detailing around openings in smooth face red brick.
- ④ Composite front door with sidelight.
- ⑤ PPC aluminium windows; dark grey.
- ⑥ Dwarf wall in red multi brick with rowlock header course and painted metal railing above.
- ⑦ PPC aluminium canopy over front door.
- ⑧ Sills, flashings, rainwater goods and trims to match windows; dark grey.
- ⑨ White / off-white through colour render.



3.0 Design Proposal

3.5 Streetscene - Station Road Elevation (NTS)



Key:

- | | | |
|---|---|---|
| ① Multi red brick with light / natural mortar. | ④ Composite front door with sidelight. | ⑧ Sills, flashings, rainwater good and trims to match windows; dark grey. |
| ② Continuous soldier course at ground floor window head level in smooth face red brick. | ⑤ PPC aluminium windows; dark grey. | ⑨ Dwarf wall in red multi brick with rowlock header course and painted metal railing above. |
| ③ Soldier coursing and stack bonded detailing around openings in smooth face red brick. | ⑥ PV Panels to roof | |
| | ⑦ PPC aluminium canopy over front door. | |

3.0 Design Proposal

3.5 Streetscene - Priory Road Elevation (NTS)



Key:

- | | | |
|---|---|---|
| 1 Multi red brick with light / natural mortar. | 4 Composite front door with sidelight. | 8 Sills, flashings, rainwater good and trims to match windows; dark grey. |
| 2 Continuous soldier course at ground floor window head level in smooth face red brick. | 5 PPC aluminium windows; dark grey. | 9 Dwarf wall in red multi brick with rowlock header course and painted metal railing above. |
| 3 Soldier coursing and stack bonded detailing around openings in smooth face red brick. | 6 PV Panels to roof | 10 White / Off-white through colour render |
| | 7 PPC aluminium canopy over front door. | |

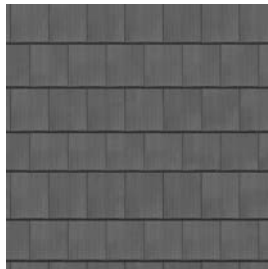
3.0 Design Proposal
3.6 Envelope Materiality



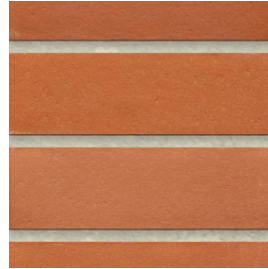
Material Palette



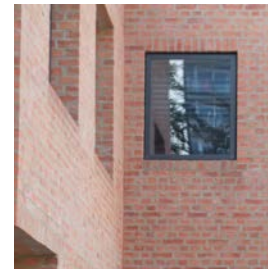
Multi red brick with light / natural mortar.



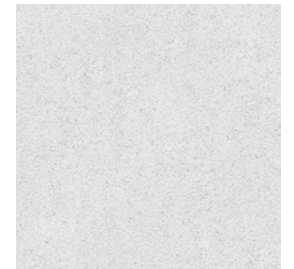
Grey tiled roof finish.



Smooth red brick detailing.



Dark grey, PPC aluminium windows.



White / off-white through colour render

3.0 Design Proposal

3.7 External Materiality

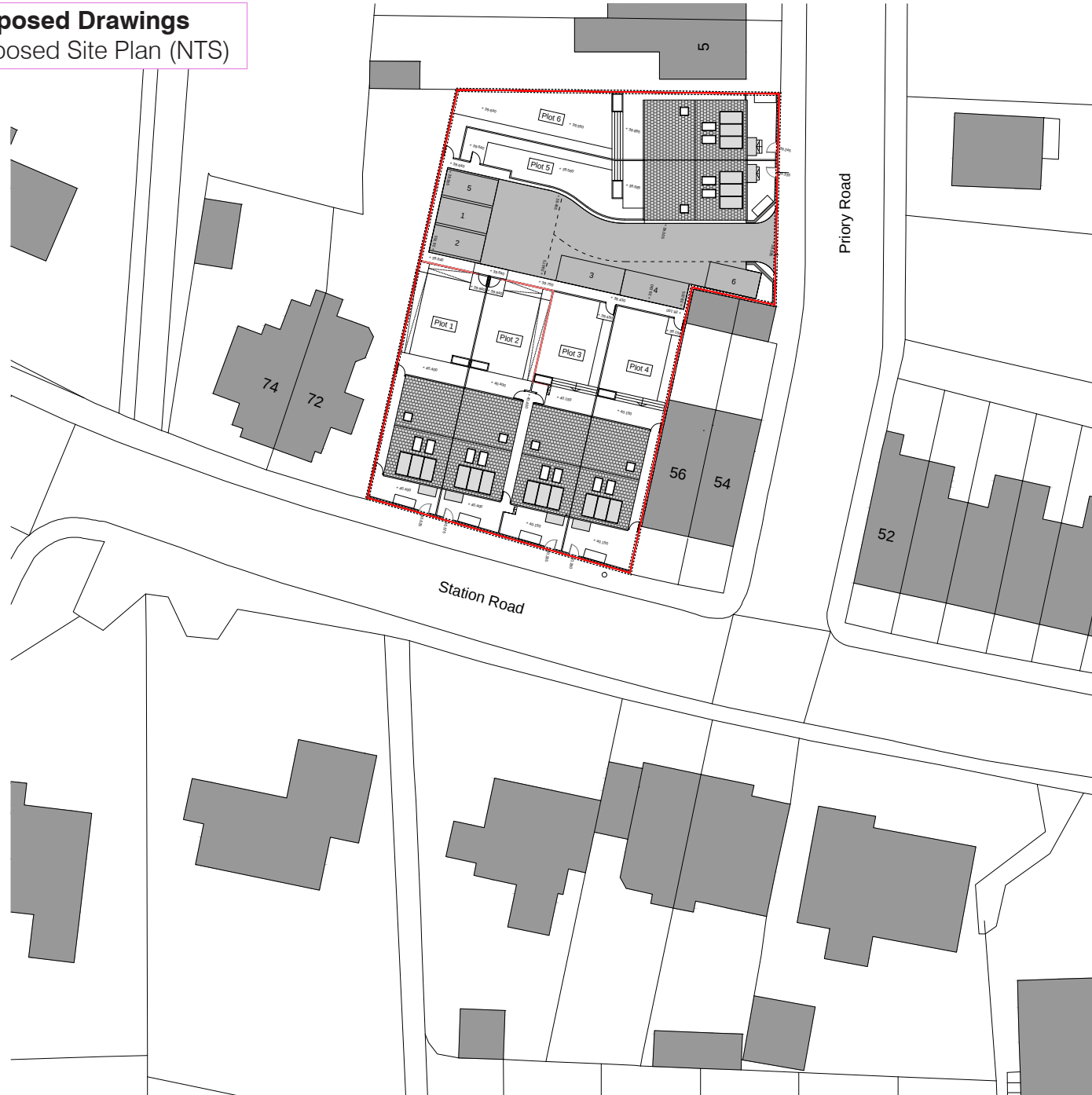
External Works

the intention is to employ simple palette of turfed gardens with light grey paving to paths, patios and front yard areas. Timber dividing fencing is proposed with a GeoWall or similar product used in areas that low level retaining is required. The private driveway and parking areas are proposed to be tarmac.



4.0 Proposed Drawings

4.0 Proposed Drawings
4.1 Proposed Site Plan (NTS)



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Stor_

Project

Priory Road

Drawing Title

Proposed Site Plan

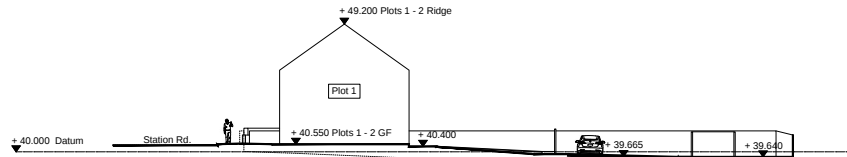
Client

Eagle Properties & Development Ltd.

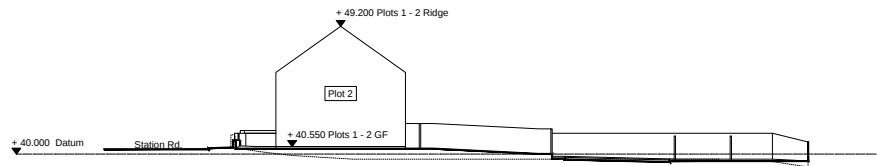
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Scale (@ A1)		Project Number
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Drawing Number		Rev.
AL-20-101		-
Drawing Status		
Planning		
Rev	Description	Date

4.0 Proposed Drawings

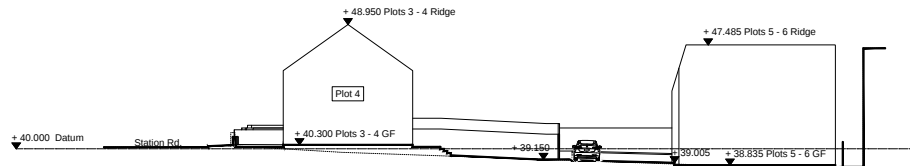
4.2 Proposed Site Sections (NTS)



Section A

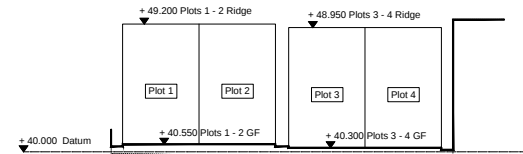


Section B

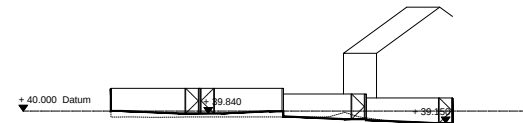


Section C

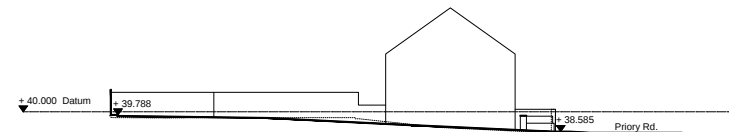
NB: Dashed lines indicate existing ground line as shown on existing site sections



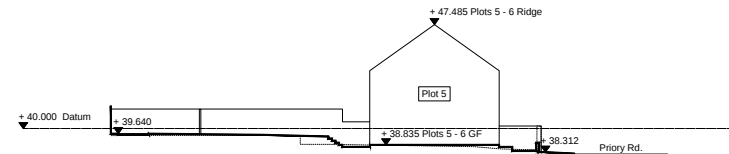
Section D



Section E



Section F



Section G

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- [illegible]



Key Plan



Stor_

Project

Priory Road

Drawing Title

Proposed Site Sections

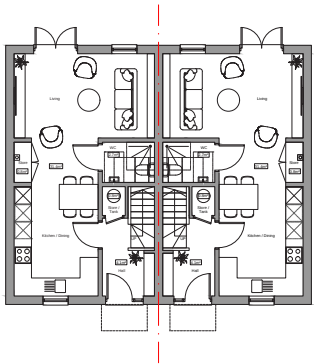
Client

Eagle Properties & Development Ltd.

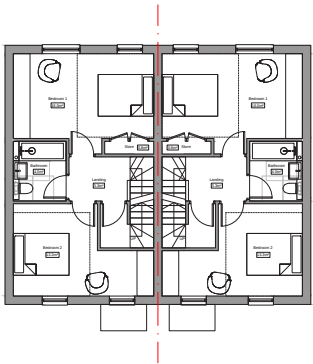
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Scale (@ A1)	Project Number	
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Drawing Number		Rev.
AS-20-110		-
Drawing Status		
Planning		
Rev	Description	Date

4.0 Proposed Drawings

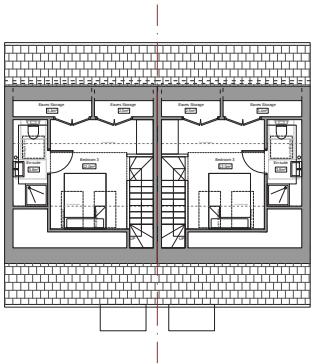
4.3 Proposed House Type 1a (NTS)



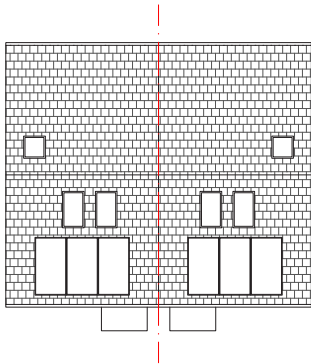
Proposed Ground Floor Plan



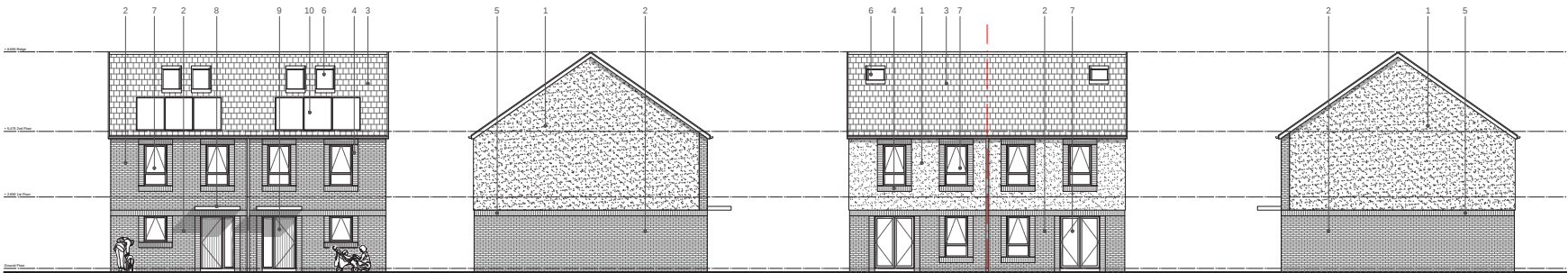
Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Roof Plan

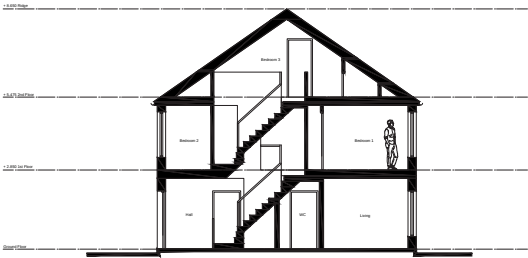


Type 1a - Proposed Front Elevation

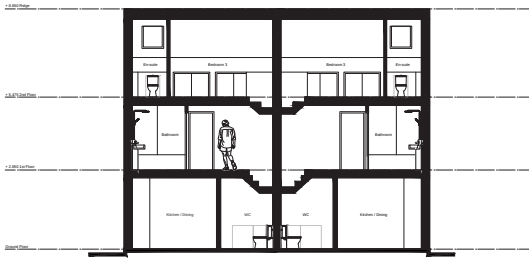
Type 1a - Proposed Side Elevation

Type 1a - Proposed Rear Elevation

Type 1a - Proposed Side Elevation



Section AA



Section BB

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- Elevation Key:**
- Through colour render. Colour: white or off-white (TBC)
 - Brick; red multi
 - Grey tiled roof
 - Stack bonded and soldier course detailing to window jambs / heads / cills.
 - Soldier course brickwork
 - Roof window
 - PPC aluminium doors and windows. colour: TBC
 - PPC aluminium framed canopy over entrance. Colour: TBC
 - Composite front door with side window
 - PV Panels

Stor_

Project
Priory Road

Drawing Title
Proposed House Type 1a - Plots 1, 2, 3, 4
Left and Right Handed

Client
Eagle Properties & Development Ltd.

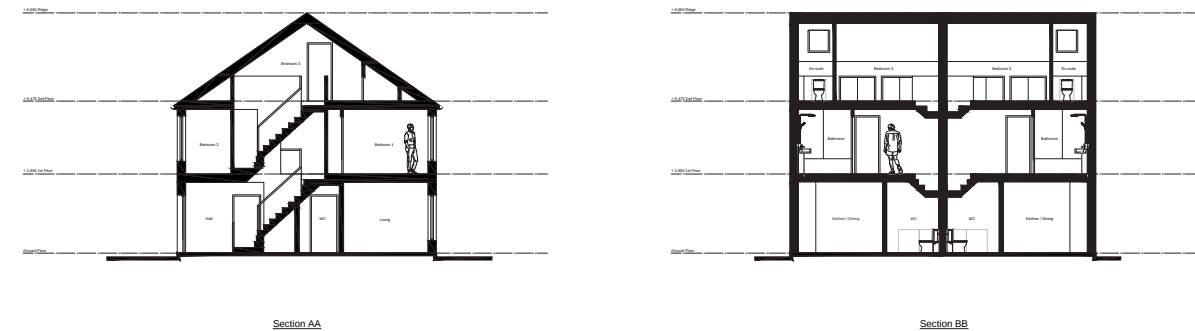
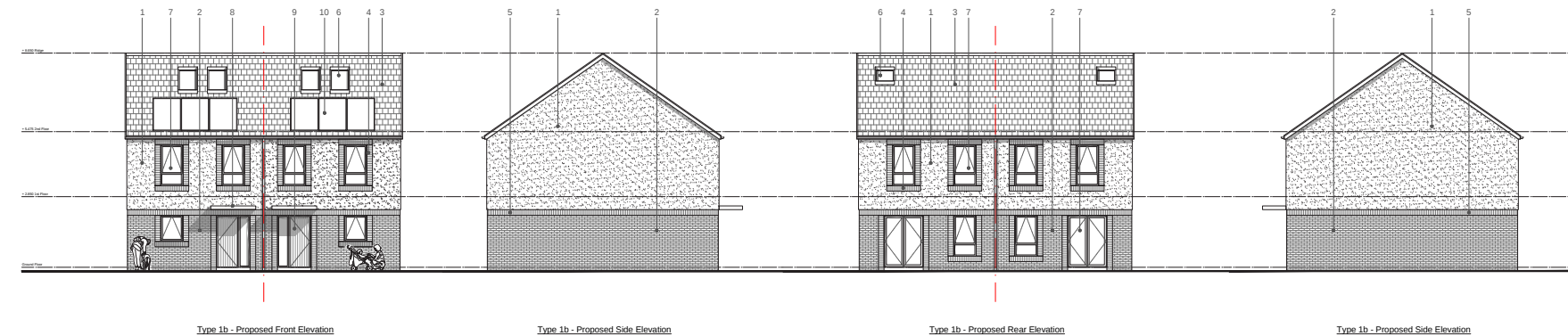
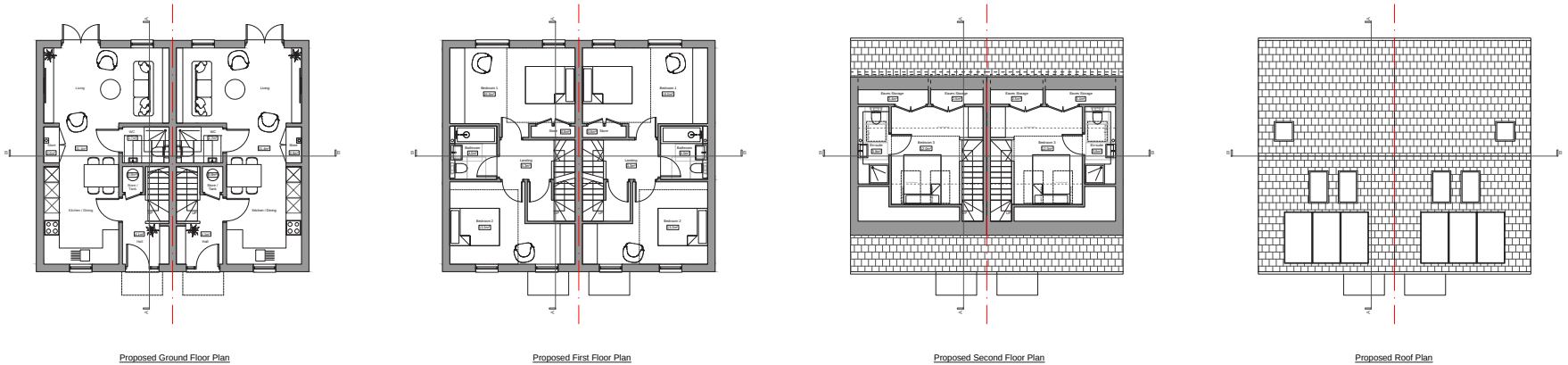
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Scale (B1 A1)	Project Number	
1 : 100	24-019	
Drawing Number	Rev.	
AL-20-201	-	
Drawing Status		
Planning		
Rev	Description	Date

4.0

Proposed Drawings

4.4

Proposed House Type 1b (NTS)



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 - Stack bonded and soldier course detailing to window jambs / heads / cills.
 - Soldier course brickwork
 - Roof window
 - PPC aluminium doors and windows. colour: TBC
 - PPC aluminium framed canopy over entrance. Colour: TBC
 - Composite front door with side window
 - PV Panels

Stor_

Project

Priory Road

Drawing Title

Proposed House Type 1b - Plots 5, 6
Left and Right Handed

Client

Eagle Properties & Development Ltd.

Drawn	Checked	Date
TE	-	14/10/24
Scale (B1 A1)	Project Number	
1 : 100	24-019	
Drawing Number	AL-20-202	Rev.
Drawing Status	Planning	-
Rev	Description	Date

4.0

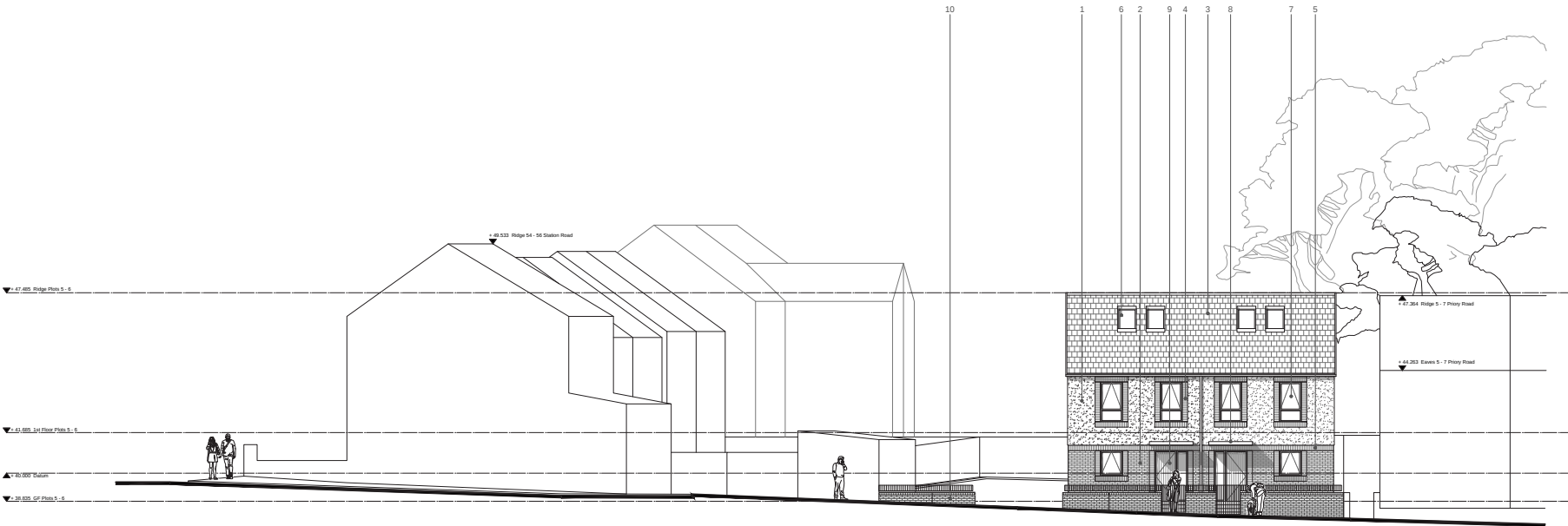
Proposed Drawings

4.5

Proposed Street Elevations (NTS)



Proposed Station Road Elevation

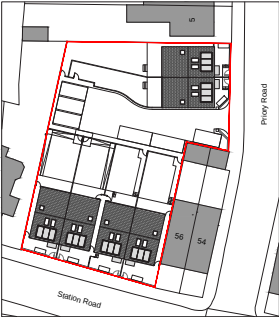


Proposed Priory Road Elevation

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Key Plan

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Project		
Priory Road		
Drawing Title		
Proposed Street Elevations		
Client		
Eagle Properties & Development Ltd.		
Drawn		
TE	-	14/10/24
Scale (B A1)		
1 : 100	Project Number	24-019
Drawing Number		Rev.
AE-20-120		-
Drawing Status		
Planning		
Rev	Description	Date

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 - Black bonded and soldier course detailing to window jambs / heads / cills.
 - Soldier course brickwork
 - Roof window
 - PPC aluminium doors and windows. colour: TBC
 - PPC aluminium framed canopy over entrance. colour: TBC
 - Composite front door with side window
 - Brick dwarf wall with painted metal railing above to boundary; red multi.

5.0 Access Strategies

5.0 Access Strategies

5.1 Parking / Refuse / Emergency

Parking

Parking is accessed via the private driveway off Priory Road, with 1 space allocated to each dwelling. Each parking space will be accompanied by an EV charging point. Access to the rear of each property is direct from the parking area.

Refuse

Each dwelling will have covered bin storage in the external area at the front of the property. Level thresholds to the back of pavement will allow residents to pull bins onto the pavement and refuse collection will be street side as per adjacent properties on both bounding roads.

Emergency Access

Emergency vehicles have street side access to all of the proposed dwellings.

Key:

-  Development site
-  Parking
-  Access route (parking)
-  EV charging point
-  Covered bin store
-  Access route (refuse)
-  Emergency vehicle access



5.0 Access Strategies

5.1 Level Access

Level Access

Level / step free access has been proposed for Plots 1 and 2, 33% of the total. These properties have been allocated to meet the M4(2) adaptable standard for dwellings as set out in the Building Regulations Approved Documents.

Both dwellings have step free thresholds at the front and rear from Station Road and parking area respectively.

The rear gardens are arranged to accommodate sloped access to the patio at the rear of the houses that meet the requirements for the maximum allowed gradients.

Localised tapering of the external floor finishes at the front and rear entrances to the houses is allowed for.

The internal arrangements are covered earlier in this document.

Key:

- Development site
- Plots 1 and 2 - M4(2)
- Access route



Stor_

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Business Park . Vale Road .
Stockport . SK4 3GN