

Proposed_ Bespoke Detached Dwelling

Plot_4
Delf Garth
Dodworth
Barnsley
South Yorkshire

S75

August 2017

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For + on Behalf of_

1712 Developments Ltd

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Overview_

This document forms part of the Full Plans Application for Plot 4 Delf Garth Dodworth.

Section 1.0_ Places the proposal into context and provides a background to the scheme.

Section 2.0_ Refers to the site history of the area.

Section 3.0_ States the overall intention from our client and design expectations

Section 4.0_ Looks at the previous planning applications upon the site with photographs and drawings illustrating the design, material palette and overall appearance that has provided inspiration for design response.

Section 5.0_ Focusses on further site analysis given the newly built surroundings. Areas addressed include the following, Key access points, site circulation, how the site was sub divided into its various building plots, Key areas for vistas, Street Scene and site constraints and opportunities.

Section 6.0_ Considers the Initial sketch design and massing principles,

Section 7.0_ Looks at the concept proposals,

Section 8.0_ Contains the detailed design proposals, Principles through the building, ground and upper floor layouts, a closer look at the design and connections through the site with a material palette from surrounding context to allow the scheme to develop.

Section 9.0_ Encouraging Sustainability through design both in buildings and urban landscape is a core principle of the proposed future development of the site.

Section 10.0_ Concluding Statement

Section 11.0_ Looks at how the design has been fully resolved through careful manipulation of space and looks at the proposal will sit within the context of the site

1.0_ Introduction

This design guide has been prepared by Eight_OneTwo Architects on behalf of our client 1712 Developments Ltd as part of supporting documentation for the full plans application in support of a bespoke detached residential dwelling located in an attractive village location on the edge of the open countryside in Dodworth, a village and civil parish in the borough of Barnsley.

The site has gained prominence within the last 3 years as 5 [traditional in form but with contemporary detailing] dwellings have gained planning permission on the site and was acquired by Eldwick Lands Ltd. The current/past detailed planning applications that were produced by a Sheffield Architecture practice will be discussed further on in the document.

This application forms part of a wider consideration for the overall vision of the site taking into account and referencing the previous planning decisions and typology of the development at Delf Garth and the context of Dodworth as a whole.

This design booklet has been prepared in accordance with recommendations from the Commission for Architecture and the built environment (CABE) and is organized to set out the site constraints and surrounding area has been visited and this statement takes into account the site characteristics, surrounding land uses and central government guidance, local planning policy and other material considerations.

The design and access statement should be read in context with the associated drawings and other supporting information submitted with the application.



AS PROPOSED PLOT 4_ LOCATION PLAN

1.1_ Barnsley

Barnsley is located on the River Dearne, South Yorkshire approximately 184 miles north-north-west of London and 17 miles north of Sheffield.

The town has a population of around 75,200 with the Barnsley Metropolitan Borough covering an area of approximately 32,863 hectares (127sq miles) and having a population of around 228,000. 68% of the borough is green belt and 9% is National Park land. There are 18 smaller towns and parishes within the borough.

Barnsley, an industrialised Town has threatened to undertake a process of major urban renewal for many years.

Before the proliferation of mining Barnsley was important as a Market Town and the regeneration of its centre, as a completely new concept of Market Town, is building on its heritage whilst establishing its place in the future.

The town's history dates from Norman times, when the surrounding land was owned by Monk Bretton, and it is mentioned in the Domesday Book of 1086.

Historically Barnsley was a coal-mining town, with wire, linen and glass making also former major industries. Today only glass making remains, of those, with two large companies still operating. The town is undergoing major urban renewal and its economy is more focused towards service industries.



1.2_Dodworth

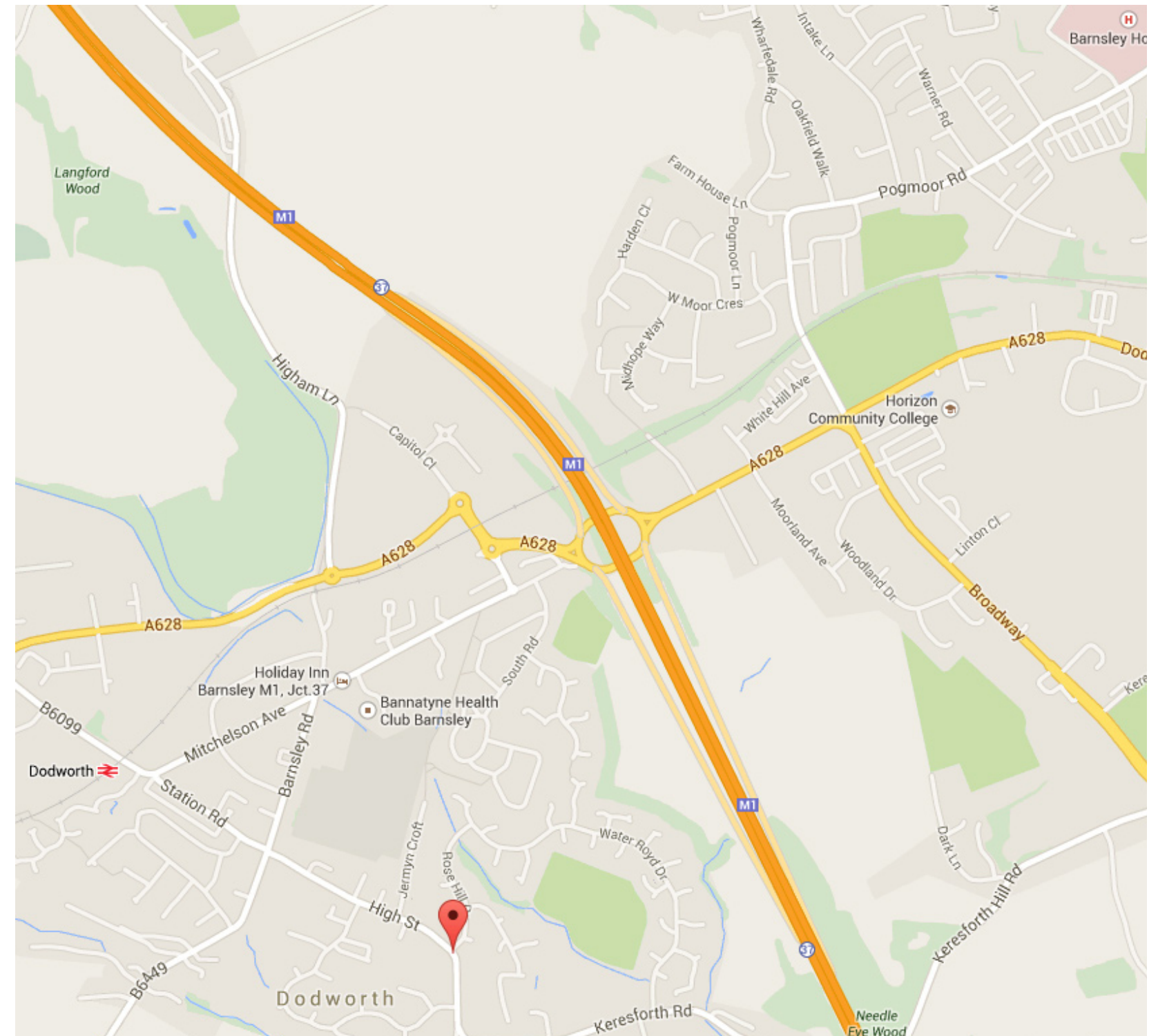
Dodworth and Beyond

The site is situated along Dodworth High Street. This is the main route that runs through the village and merges from Keresforth Road on to High Street and Barnsley Road the main axis that runs straight through Dodworth, the architectural typology along this route is variable however some continuity can be noted.

The majority of the stone built dwellings along the boundary of High Street have been built within the last 70 years. The layouts of the dwellings have a noticeable double frontage shaped arrangement; the main body of the house answers the highway while garages project back towards the back of the dwellings. A number of dwellings utilise the roof space to provide accommodation, the images below provide a visual analysis of the typologies discussed.

To the north west of the site is Grade II listed building. Titled the 'Grove' the building has held its listing since 1966. A large detached dwelling from the 17th Century with 19th and 20th Century alterations. The building is 2 storey with a double depth plan with a stone slate roof, thinly coursed rubble with quoin detailing and deeper, squared courses to the rear. The building does have elements of render to the elevations at ground floor. Typically the building is double fronted with a central entrance area. Each bay features 5 light windows at both ground and first floor maintaining balance and symmetry. The central bay features an entrance door and a three light window at ground and 2 light window at first floor, this helps to break the rigidity of the elevation and provide a break between the left and right hand bay.

Generally the architectural character of the area and surrounding area provided an important precedent for the design of the proposals 1,3,5 and 6 at Delf Garth.



1.3_ Site Context

The Site_ In Context

The boundaries are_

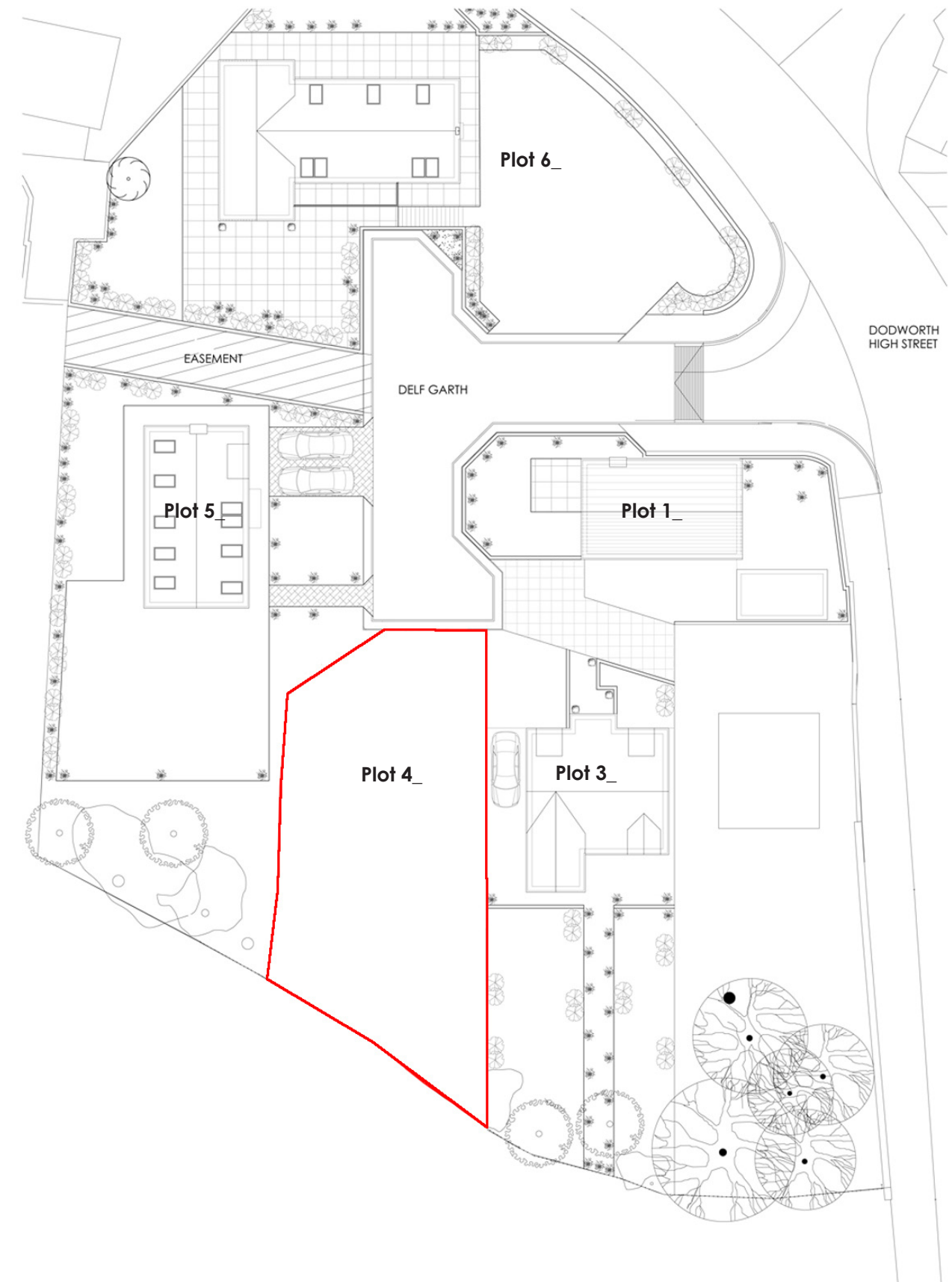
_To the North, plot 6 Delf Garth dwelling

_To the East is Rose Hill Drive (A new build red brick housing estate consisting of mainly 2 storey double fronted detached dwellings) and the neighboring property of plot 3 Delf Garth.

_To the South East is a selection of semi-detached stone built dwellings that run along the same linear progression along High Street.

_To the West is Wentworth Way, a selection of 1960's double fronted bungalow's, some building typologies also incorporate a roof dormer

The building plot itself is not within the green belt and would therefore be available for residential development.



1.3_ Site Context

The Site_ In Context



To the North_ Plot 6 Delf Garth



To the East_ Plot 1 + 3 Delf Garth



To the West_ Plot 1 + 3 Delf Garth



To the South_ Plot 4 Delf Garth



Street Scene_ Upon Arrival to plot 4. Framed by Plot 3 to the left, Plot 5 to the right

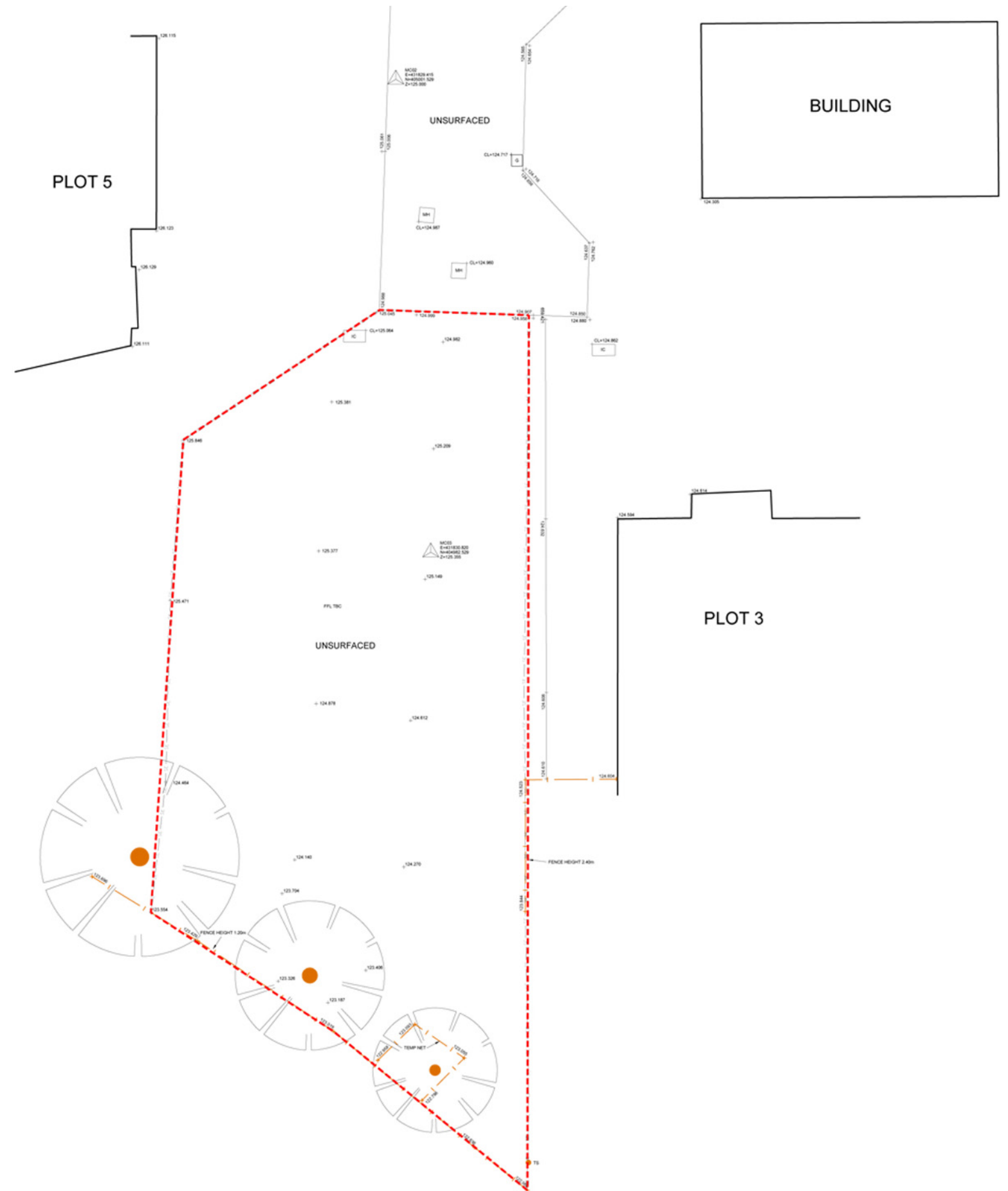
1.4_ Redline Boundary

We seek to design a bespoke detached dwelling traditional in theme within the grounds of site of former The Pheasant Inn public house located on the corner of High Street, the main arterial route through the village. As previously mentioned this is now home to 4 bespoke detached dwellings. The existing site sits between a large stone detached house and residential housing estate to the west of the site (Wentworth Way)

The site has an area of approximately 400 square metres.



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A r c h i t e c t s



2.0_ Site History

2.0_ Context History

Dodworth + Beyond

The name Barnsley means 'barn or storehouse in a field' and derives from the Saxon words 'Berne' (barn) and 'ley' (field). The name appears in the Domesday Book of 1086 as Berneslai.

Dodworth was known as a mining village and is on the edge of the Pennines. It has the name locally of 'Honest Dodworth'.

Dodworth was historically a township in the ancient parish of Silkstone in the West Riding of Yorkshire. It became a separate civil parish in 1866, and an urban district in 1894. The urban district and civil parish were abolished in 1974, when Dodworth was transferred to the Metropolitan Borough of Barnsley in the new county of South Yorkshire. Dodworth is now an unparished area.

Dodworth is a former coal mining village with approximately 5,800 people. The land occupying the former pit is now the Dodworth Business Park. The "muck" stack from the pit is clearly visible throughout the village. During the early 1980s a mass planting of silver birch trees began to halt erosion and create a wildlife habitat. Over the past twenty years, trees and wildlife have flourished. Now the whole of the east, south and west side are covered with trees. The north side is occupied by farmland and the former 'muck stack' is completely invisible apart from the rise.

Coal mining took over from weaving in the mid-1860s, and the village then became a typical mining area, with the sinking of shafts and the building in later years of miners' houses, but again this has all changed since the contraction of the coal industry, bringing substantial unemployment. The houses were sold off and modernised and, almost overnight, shafts and mining equipment disappeared. At present over the old colliery workings an industrial estate has been developed. As a result of this, new housing estates have being built, thus increasing dramatically the population of this close-knit community, whilst not diminishing the beautiful rural surroundings.



3.0_ Plot 4

3.1_ Plot 4 Design Brief

We aspire to provide a proposal that complies with local and national planning policy +one that respects the existing architectural context of the area + also responds to the new typologies within the immediate context of Delf Garth.

We will seek to create a design that draws on the architectural details of surrounding dwellings while providing a traditional interpretation of the local semi-rural typology with contemporary detailing.

The proposal will respect the proportions of Delf Garth in its massing and layout, it will apply carefully designed details + the use of high quality materials local to the Delf Garth development, + will draw inspiration from the surrounding typology to provide a high level architectural street scene that will bring order, hierarchy + a sense of 'completion' to the existing development.

The brief from our client was to develop the following schedule of accommodation_

Ground_ Floor

_Open Plan living area including Kitchen, Dining + Living

_An area dedicated to act as a snug separate to the that of open plan living and with an opportunity in the future to be able to close off from the rest of ground floor.

_Downstairs W/C

_Cloak

_Utiliy

_Integradted Garage and ample parking at the front of the property

First_ Floor

_4 Good sized double bedrooms _ 5 if achievable_ At least 2 Bedrooms with En_Suite

_Dreassing area to Master bedroom

_House bathroom

_Storage Space

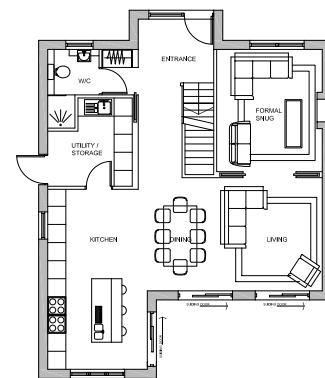
4.0_ Relevant Planning History + Applications

4.0_ Relevant Planning History + Applications

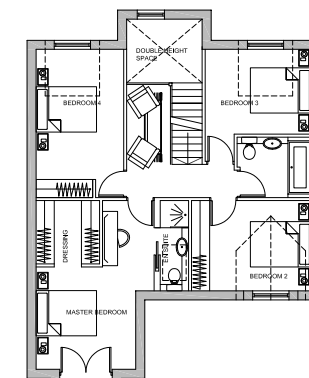
Plot 3_ Delf Garth_Dodworth

As discussed, in 2015, 4 planning applications were submitted to Barnsley Metropolitan Borough (BMRC) and granted permission. Within that time Plots 1, 3 + 5 have been completed and are now in occupation, with Plot 6 nearing completion. The various Plots and associated planning drawings and numbers are also referenced.

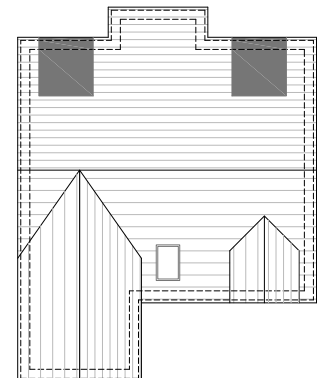
Plot 3_ Planning application number 2015/0248



GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

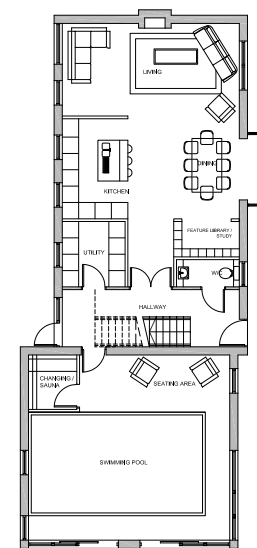


SIDE ELEVATION

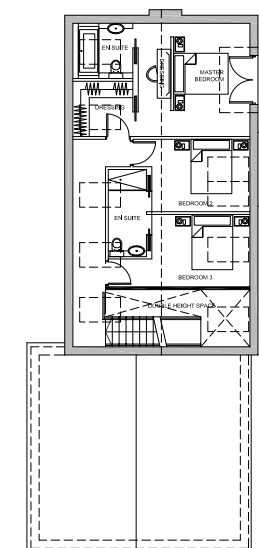
4.0_ Relevant Planning History + Applications

Plot 5_ Delf Garth_ Dodworth

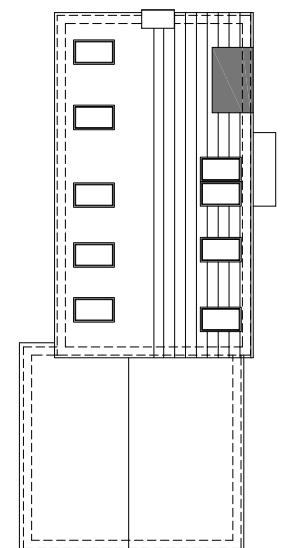
To the West of the site is Plot 5_ Original Planning application number 2015/0251.
Updated application number 2016/0411 and non material amendment number 2017/0370



GROUND FLOOR PLAN



FIRST FLOOR PLAN



FIRST FLOOR PLAN



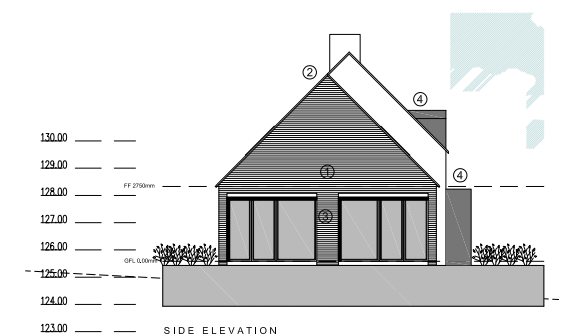
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

4.0_ Relevant Planning History + Applications

Plot 6_ Delf Garth_ Dodworth

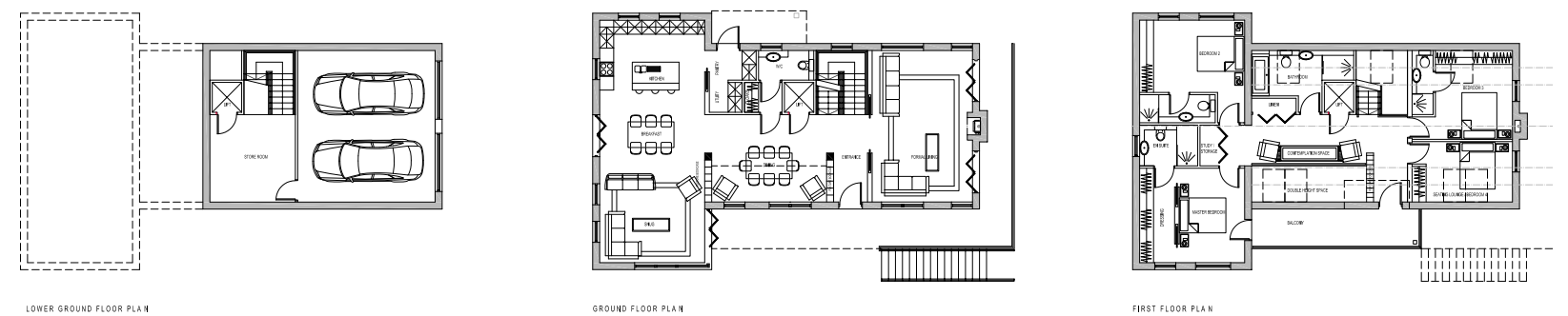
To the North of the site is Plot 6_ Original Planning application number 2015/0246.

Updated application number 2017/0370

Please Note_

Plots 1,3,5+6 Have not designed by

Eight_ OneTwo Architects



5.0_ Site Analysis

5.1_ Site Analysis

Site_ Surroundings

The North East of the site is the main site entrance, with links leading to the main arterial route of Dodworth High Street, back to Barnsley Centre and beyond.

Gateway _ Opportunity

The site sits at the gateway commuter belt at the key junction of Dodworth High Street. To the north /south is the M1 motorway linking to Leeds and Sheffield respectively. East is the A628 that is a short car journey to the centre of Barnsley and to the West the A628 takes you to Manchester whilst the A635 will take you to Huddersfield. This prime location on the High Street creates an opportunity for scale along the street edge, signifying a sense of arrival onto the site. The prominence of the development creates a navigational and visual marker for the site as a whole, stepping in scale across the site and taking advantage of the South facing aspect of the site.

Bounding_ Site Edges

It is important that 'edges' of the site are maximized in order to improve visual impact.

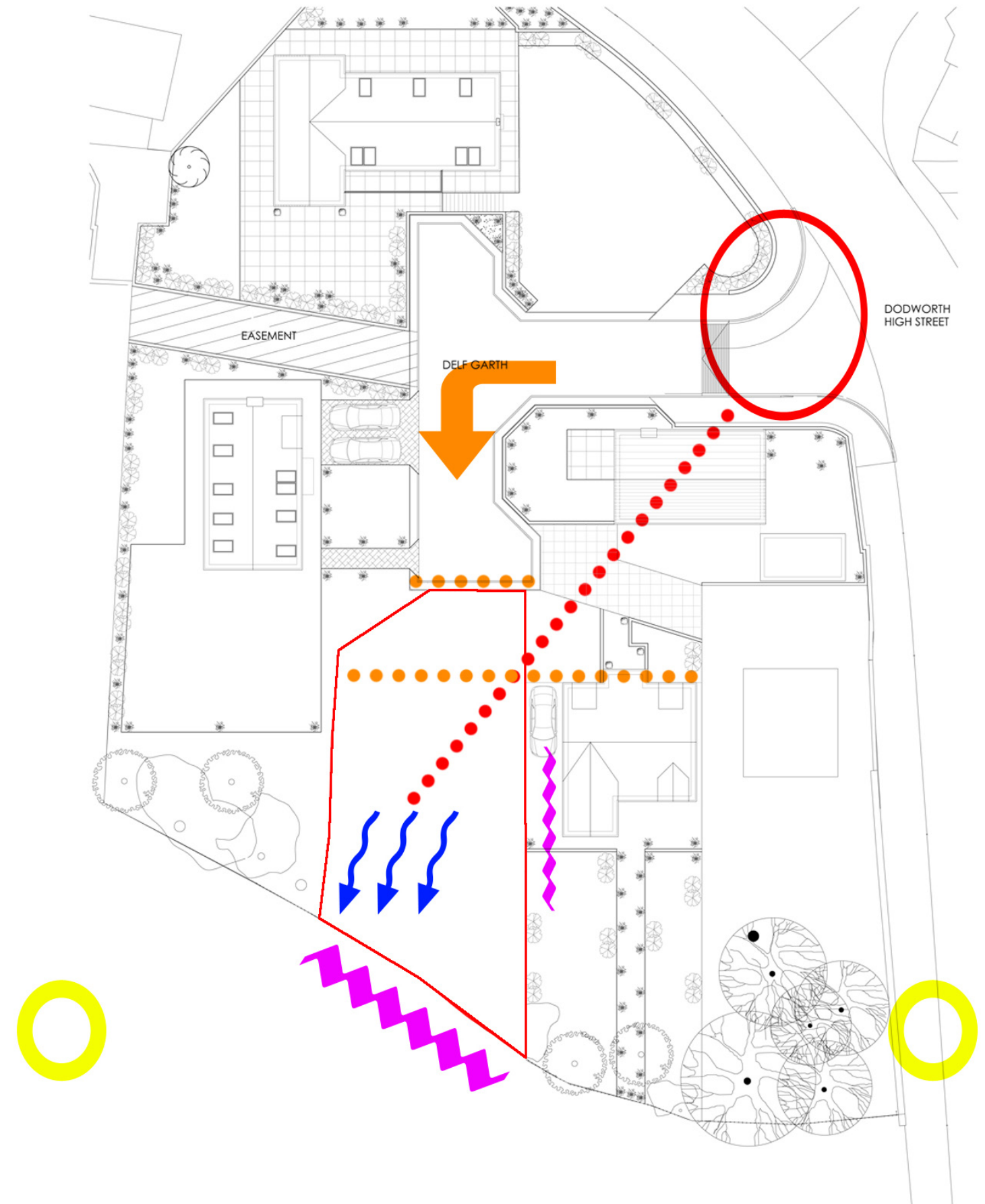
Doing this to the north of the site will create large open space to the south within the site.

Penetration to the garden spaces will be paramount. Reaffirming the edge to Delf Garth framing the street scene between Plots 2-4.

To the South green private space to it's Southern boundary, will maximise daylight and sunlight to the site Northern edges throughout the day.

Links_ Arrivals

For the proposal to be successful, to that of the other properties on Delf Garth, it is important that from the primary entrance of Delf Garth turning the corner to view Plots 3-4 that the proposal sits well within its context to that of Plot 3 that the primary elevation has a striking appearance. This will be able to optimise the public realm of the site and create a strong active frontages and the overall site development and site surroundings.



5.1_ Site Analysis

Design Principles_

The Masterplan was created for the site previously to ensure site responds to scale, maximises links into Dodworth, Barnsley centre and creates a new destination through the public realm.

Routes_

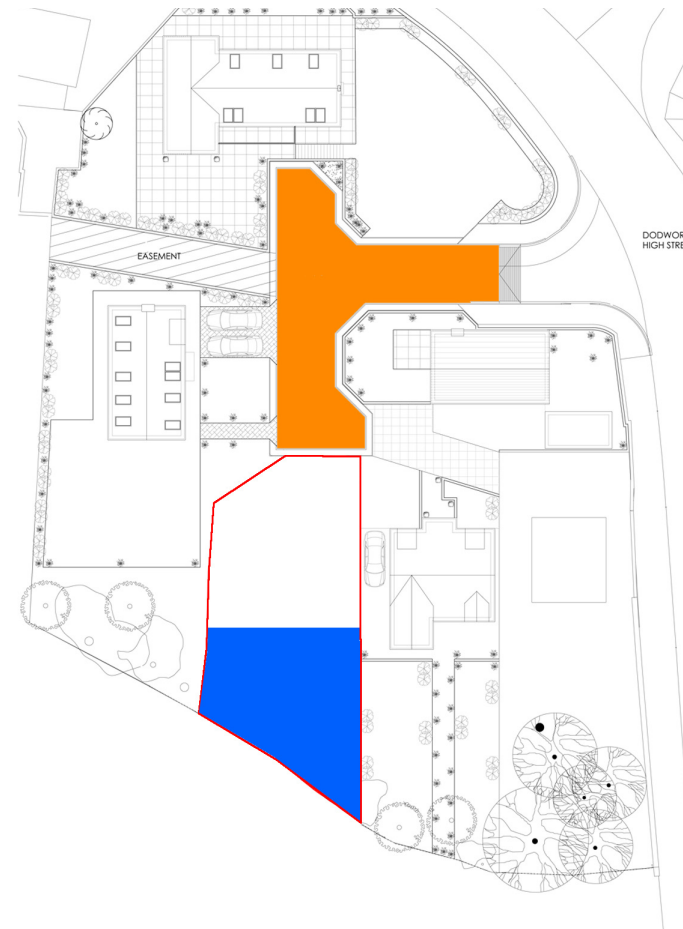
Key routes were identified by the implementation of the new road into site. The most prominent arrival to the plot is when you turn left from plot one and are met by the front elevations of Plot 3 and Plot 4.

Linked Space_

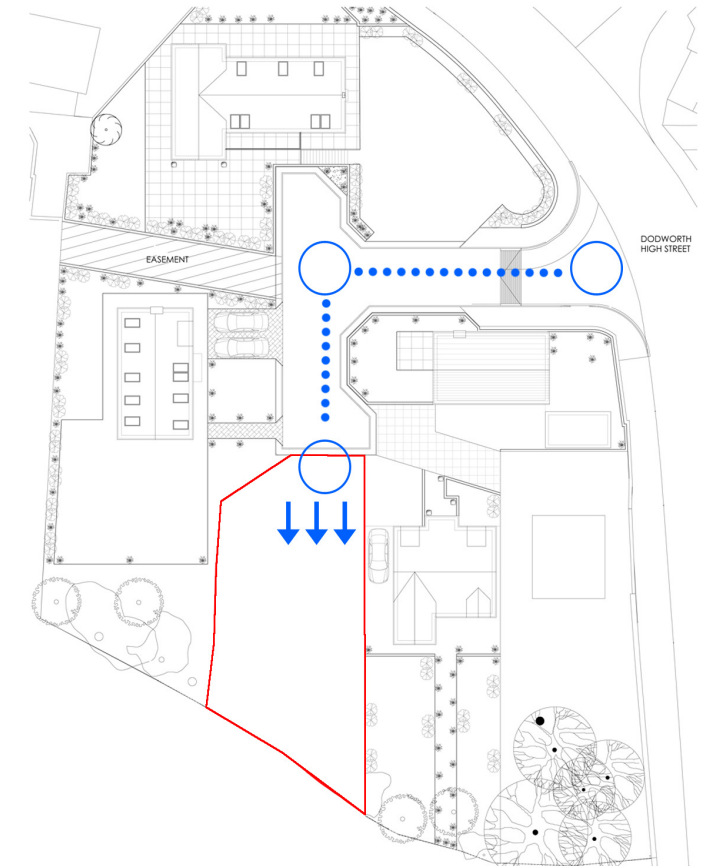
A series of public spaces that link together to form the primary route across the site. The linear movement creates a direct link from Dodworth High Street to the street scene edge.

Linked Routes_

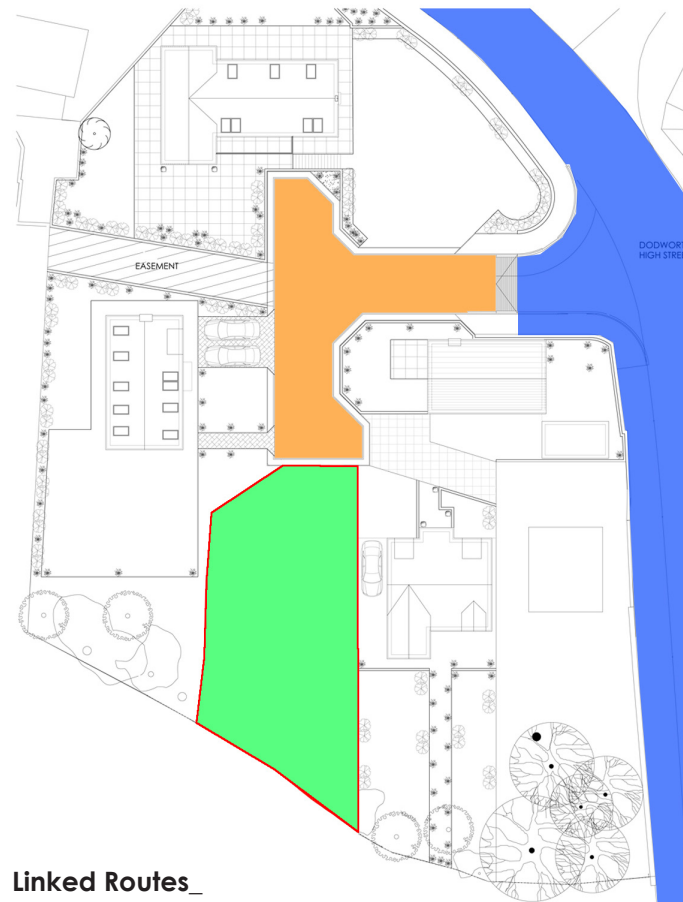
Delf Garth will continue to support an active edge, a development strategy has been produced that will ensure cyclist and pedestrians can move from the East of the site, across the site re-engaging the Plot to the village and beyond.



Routes_



Linked Space_



Linked Routes_

5.2_ Site Constraints

Orange_ Hatch

Indicates the existing immediate properties within close proximity to the site. it is important to consider + respect the privacy of the existing neighbours and in return create a sense of privacy for the proposal

Green_ Hatch

The back edge of the site could be indentifeid as garden area. Past the site boundary to the south are existing residential dwellings and a series of trees. It is important to respect these material considerations.

Blue_ Hatch

Indicates an area of land that could be classed (but not limited to) the existing building line. To create a strong sense of street scene we feel it is vital that the building line be followed

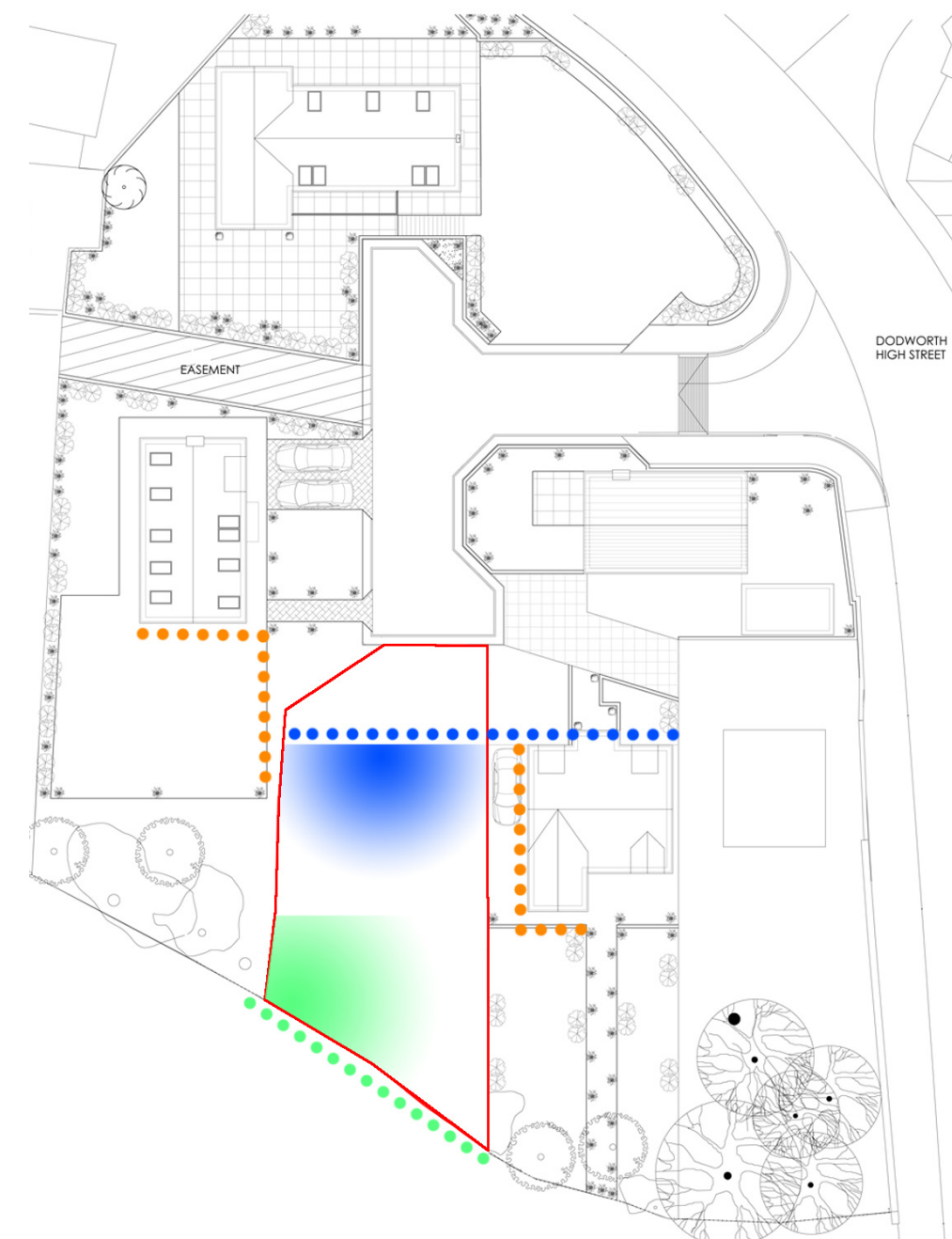
Identification_ of constraints

Architectural response from the area needs to be sympathetic to its surroundings. Because of this the design will be in traditional form. As Delf Garth has 4 properties on the site there is a strong precedent for architectural response.

It is imperative that the proposal is carefully positioned on the site so there are no overlooking issues between each dwelling. There is a good opportunity to add external landscaping areas and it must be considered that during the design process that a degree of privacy is maintained between neighbours and should not be considered as an after thought.

There are trees worthy of retention on the southern boundary. The body of the dwellings must push forward to the front of the site. It is important to consider that the 3 dwellings maintain good amounts of natural sunlight and again to carefully landscape the external outside space. The trees on the boundary should not compromise midday sun.

This approach is sympathetic to the surrounding area by softening the impact of the buildings on the street scene and along the sensitive boundary to avoid overlooking distances to the surrounding properties to the south. The southern boundary itself is to be enhanced with additional landscaping to further screen the properties. Some planting will be provided along the bounding edge. The rear garden will consist of two parts; the garden area will be landscaped to provide domestic amenity space and the second part has hard standing materials to provide a patio area in front of the house's to promote inside and outside living within the summer months where the sliding doors can be opened up.



6.0_ Design Principles

6.1_ Establishing a Form

Massing_Design Exploration

Stage 1_ Planning Parameters

Although pre application discussions have not taken place we feel it is acceptable that if the design response called on precedent studies from the surrounding context of neighboring properties along Delf garth there is a high justification that planning would be acceptable so long as the proposal was not overly bearing or out of context to that has just been granted planning permission.

Stage 2_ Establishing a Form

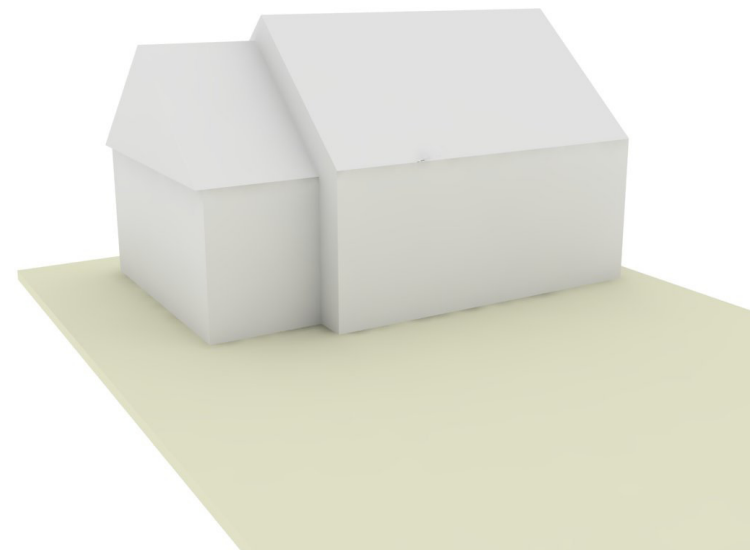
The size of the floor plate is determined by the site scale and orientation. A double fronted dwelling solution is seen as the most efficient which will order internal spaces and define the entrance area. The layout has been designed to create a traditional form whilst employing void spaces within the roof. A stepping of form to the south east of the site which in turn is removed from the front of the building (Unlike Plot 3 entrance core) and creates a flat plane along the northern elevation moving away from the from of design to plot 3 to create a sense of overall belonging to the street scene but also giving the proposal a sense of its own identity. Whilst the stepping principle to the south of the site responds to the context of the building in line to the rear it also enables views to be opened to south facing sunlight.

Stage 3_ Introducing Solid + Void

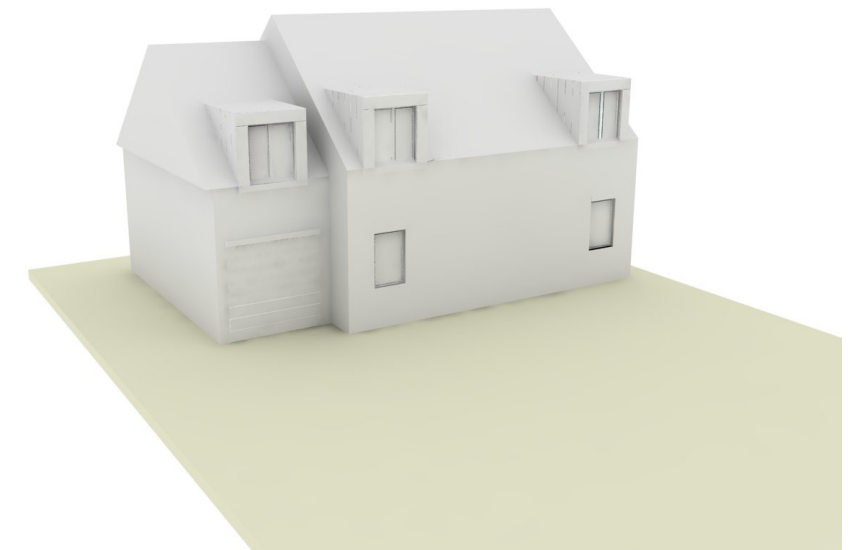
It was decided that the proposal must reference the same building typology. It would be designed to include roof dormers "pulled out" of the envelope from the building. This creates a rhythm in the building envelope which can help to create a vertical emphasis and help to strengthen the ordering of the building. Strategically Introducing solids, aids in the break up of the overall 'mass' of the building form and by placing these on the end elevations of the buildings helps to create interest on the corners and provide a formality and articulation to these areas.

Stage 4_ Defining Verticality

Regimentation across the window fenestration gives a vertical element to the design by way of floor to ceiling glazing. It is important that the window proportion is designed with careful consideration.



Stage 2_ Establishing a form



Stage 3_ Introducing Solid + Void



Stage 4_ Defining Verticality

6.2_ Massing Principles

Massing_ Design Exploration

The studies at this stage were used to establish the order of the overall form and not the general appearance of the facade. Through the process of the massing exercise and precedent studies it became apparent however that a response with a simple relationship of three main materials will strengthen the overall form of the building.

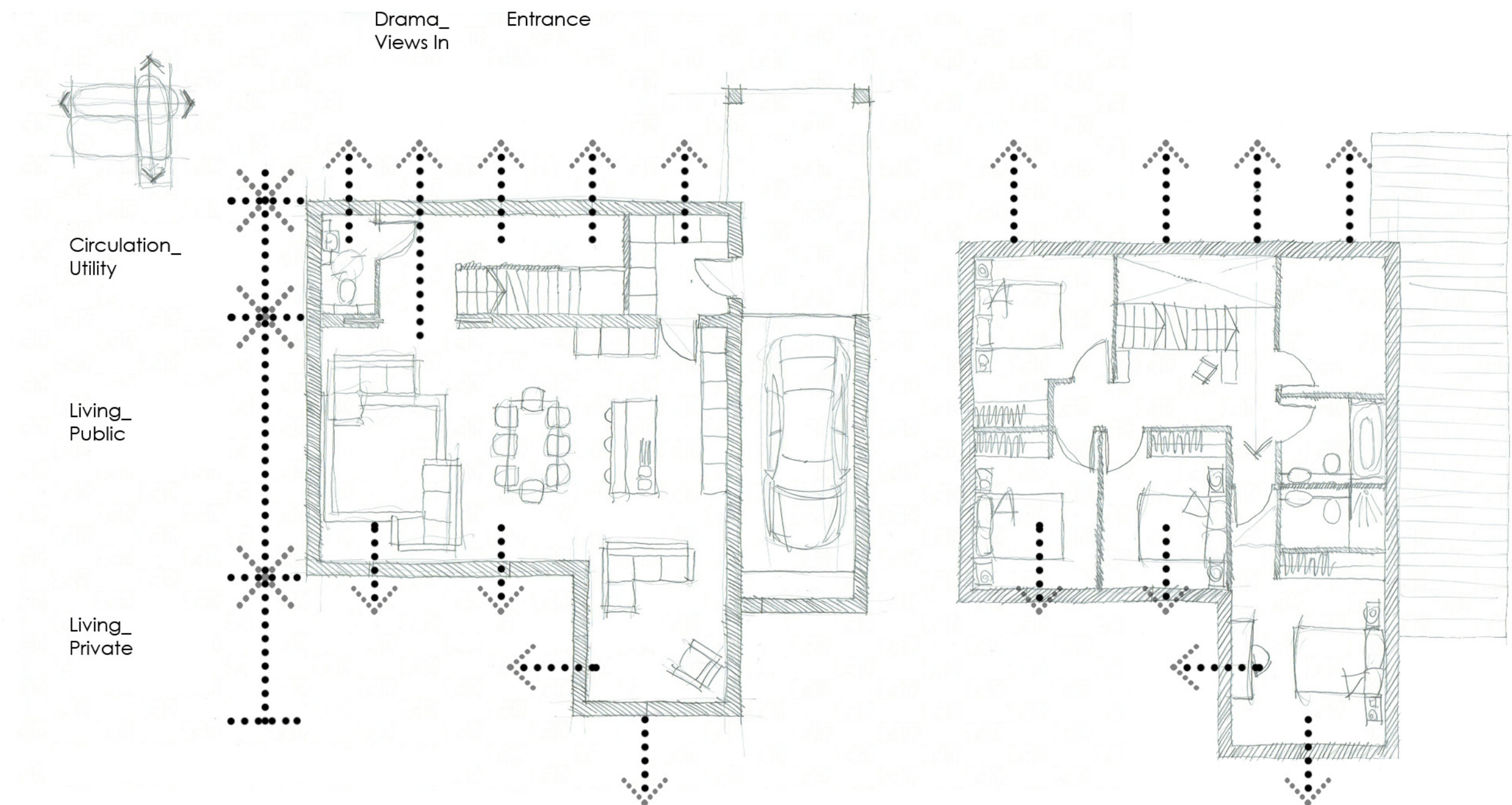
Developing around the existing constraints of varying typologies at either end of Delf garth the proposal and embracing site opportunities, the massing exercise was an important factor as a first starting point.

A flat faced approach was employed on the front elevation taken from the design of Plot 6 moving from that of the stepped design of plot 3 creating a suitable balance in proportion between the two is an important factor whilst at the same time responding to the development brief and required schedule of accommodation.

7.0_ Concept Proposals

7.1_ Concept Proposal

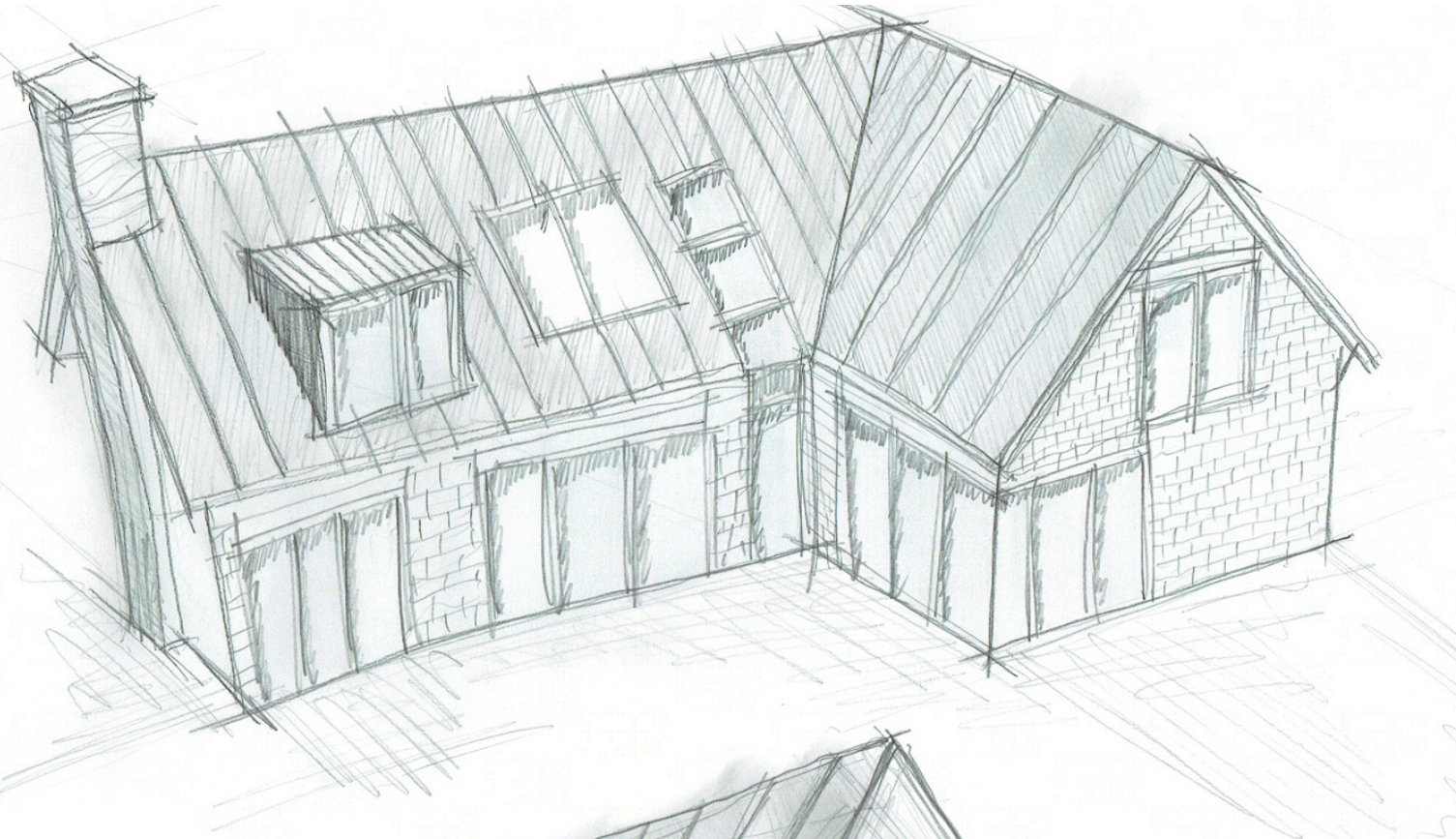
Use_ Amount Layout



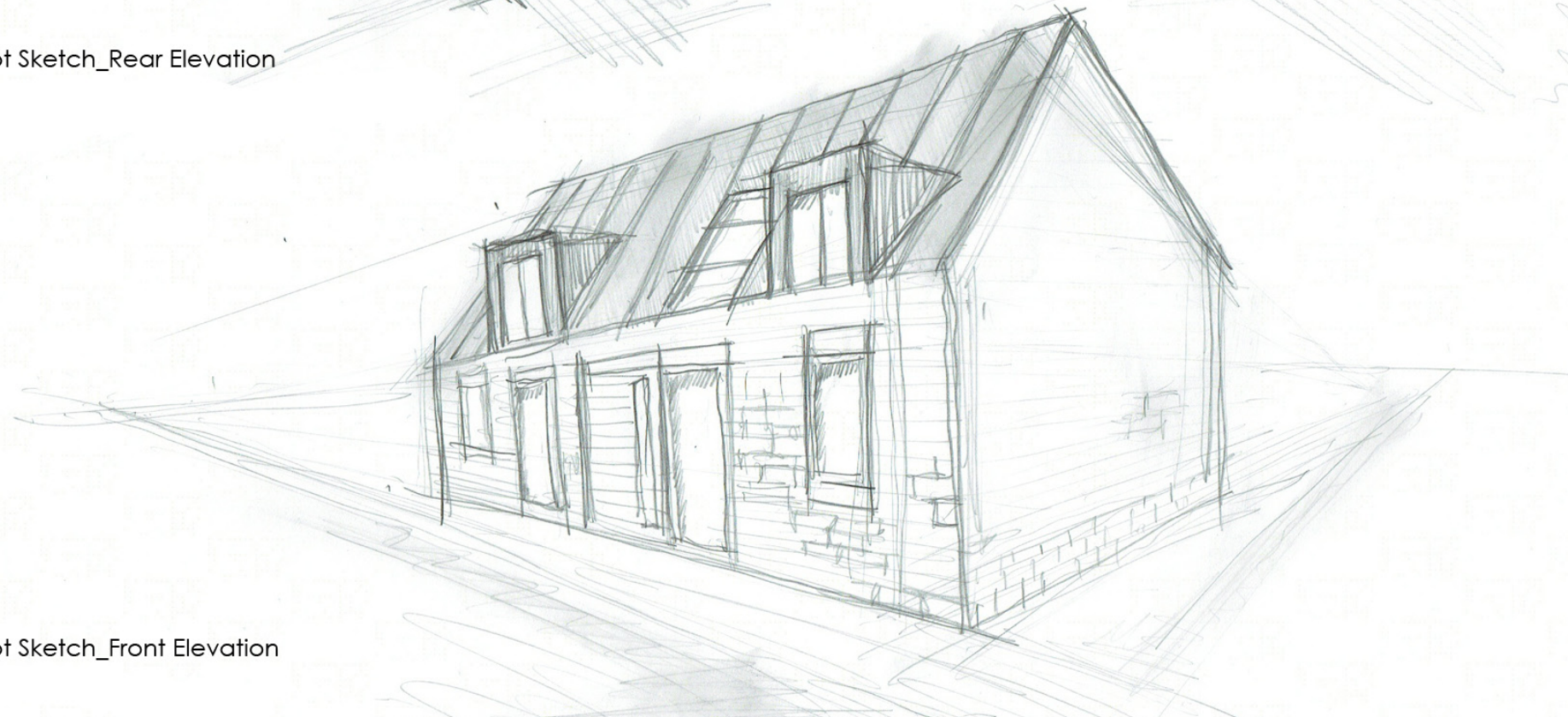
7.1_ Concept Proposal

Use_ Amount Layout

3D Concept sketch proposal front + rear



Concept Sketch_Rear Elevation



Concept Sketch_Front Elevation

8.0_ Plot 4_ Delf Garth_ Design Proposals

8.1_ Scheme Design

Design_ Of the scheme

The processes by which the design proposals are set out below. The dwelling has been carefully considered to provide a high quality and attractive residential property to match that of Delf Garth.

Plots 1-6 have been designed with the first floor partly into the roof space. This responds to the existing surroundings as there is rich evidence of bungalows and dormer bungalows often that are in good condition and well maintained.

The vertical scale of the dwellings is emphasized by the use of tall windows and in some cases high floor-to-ceiling heights. The latter generally increase with the status of the elevation.

Principal rooms often dominate the elevations (but not in the case of Plot 4 on the front elevation) Kitchens and service rooms are predominantly to the rear elevations.

The Staircase will be expressed by large windows to allow sun light to penetrate into the entrance / circulation core. Over-scaled porches, door surrounds and stone steps emphasize the entrance zone.

Amount_

The proposals will be detached dwelling consisting of 5 bedrooms with an integral garage, a driveway and generous garden to the front, and rear of the proposal.

- The proposals will generally consist of a series of 'boxes' connected by a strong circulation core of glazed windows that not only informs the entrance / arrival but will help to order the public + private living spaces beyond that splits the different wings apart. It is reasonably placed upon the site given the exceptional size of the plot that offers an extremely generous garden to the front and rear of the property.



AS PROPOSED PLOT 4_ LOCATION PLAN

8.1_ Scheme Design

Layout_

The proposals orientation will be positioned which aims to show consideration for existing dwellings within the site and not as a direct response to the High Street and housing estates in the local vicinity. The footprint of the proposal also reflects the similar typology along Plot 3 of Delf Garth. A single plane shaped footprint that houses a garage with space for a store room with ample forecourt for vehicle manoeuvring and landscaping.

The ground floor internal accommodation will generally comprise of a large entrance hall and vertical circulation to the first floor.

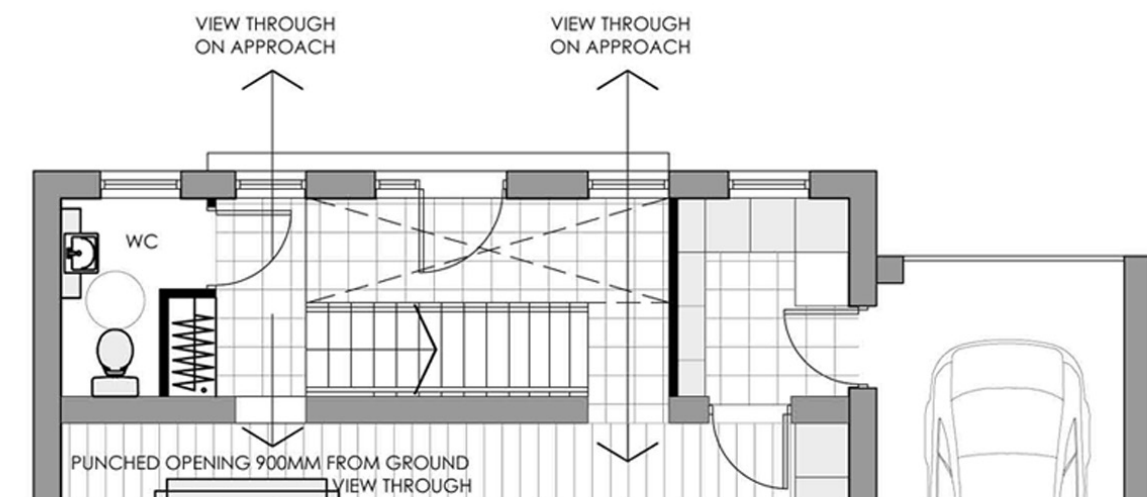
Off the central ground floor circulation area consist of a ground floor utility zone cloakroom; WC. These 'Utilitarian' spaces will be placed at either end of the building and have the more traditional windows in the proposal allowing a strong central entrance area that will serve light into the double height core.

Large vertical panes of glazing will aid in the process of arrival to the building. The entrance "zone" also aims to provide visitors with a sneak preview to the spaces beyond without giving too much away, this will create architectural drama and anticipation to penetrate into the public open living zone. The provision of the circulation spine provides a formal connection between the the front and rear of the building heightening drama and anticipation whilst viewing the large glazing to the front of the proposal.

The provision of open plan living will be prominent in the design. The main features of open plan living will be kitchen, (Including breakfast) Dining and a daytime room. It is considered general living and relaxation will be conducted in these spaces and it is imperative that this will involve south facing glazing and sun light, it will be an important factor to encourage the use of inside and outside space as the design will be able to take advantage of the generous garden space and vista's that are situated to the south of the plot over the valley of Dodworth.

Further to this the design will incorporate a generous formal snug area that will be separated to the open plan living zone and it is anticipated that this will only be used on social occasions and will allow more intimacy and privacy.

The first floor accommodation will provide 5 double bedrooms that will be spread along first floor and roof space. The brief will also feature 3 En-suite facilities, and a household bathroom. The master bedroom will feature an En-suite and dressing area. There will be a feature area at the top of the stairwell to appreciate the double height space that overlooks the entrance with a large glazing area.



Entrance Zone Rationale_

8.1_ Scheme Design

Scale_

The proposed dwelling will be in similar in mass and height to that found in the surrounding properties, with particular reference made to the neighboring property plot 3

The scale will be a reference to plot 3 and therefore the overall street scene of a ground floor and first floor located within the roof space.

Careful consideration has been given to the site topography to implement the size difference with a little higher roof than that of Plot 3. Given that the overall site has a gradient from east to west, providing a higher ridge that that of plot 3 will aid in accentuating the topography.

Landscaping_

There are trees worthy of retention on the southern boundary and this is reflected in the tree preservation order that is employed. The body of the 2 dwellings has been pushed forward to the front of the site.

This approach is sympathetic to the surrounding area by softening the impact of the buildings on the street scene and along the sensitive boundary to avoid overlooking distances to the properties to the east and west. The southern boundary itself is to be enhanced with additional landscaping to further screen the properties. Some planting will be provided around the 4 perimeters of the site.

The garden will consist of two parts; the front garden area will be landscaped to provide domestic amenity space and the rear part has hard standing materials to provide a patio area in front of the house to promote inside and outside living within the summer months where the sliding doors can be opened up and encourage the use of inside and outside living.



8.1_ Scheme Design

Appearance_

Traditional by nature featuring strong characteristics of Delf Garth with a contemporary material palette of Natural Stone coursed @ 65mm and slate tiles on pitched roofs with elements of zinc and timber. Stone will feature as the main material used to the building envelope's, with stone detailing to the front, side and rear projections.

Generous window sizes will provide ample amounts of natural daylight into the internal accommodation and a timber (internally) or aluminium window system will provide thin uninterrupted frames. The entrance door and garage door will be a timber system.

Approach to the site from the main road reflects the materiality of the area of natural stone to provide a strong base to the dwelling.

The private entrance from the main High Street will lead into the site whilst the public entrance to the front door and is separated by a large driveway. Part of the design rationale is the link between the edge of the site and the journey to the front door of the property. This theme will be continued into the arrival of the entrance by the large glazing area that will sit in the circulation core that may also allow for double height space. The hallway is intended to clean, sharp and modernist with no doors off the hallway. Visitors are encouraged to move in this linear progression that started outside towards the public 'zones' and provides anticipation into the main spaces from the circulation zone that sits underneath the 'bridge' on the first floor that will provide circulation to the bedrooms and into the roof space.

The porch around the front door helps to emphasise a strong entrance whist approaching the building. The use of Zinc to create the 'wrap' surround is referenced on other properties along Delf Garth. Areas of each dwelling will have recessed windows that again plays on the motion of stepping materials and providing interesting three dimensional form whilst also acting as solar shading from the south facing sun.



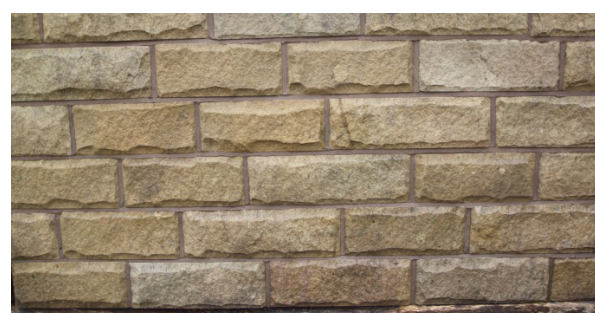
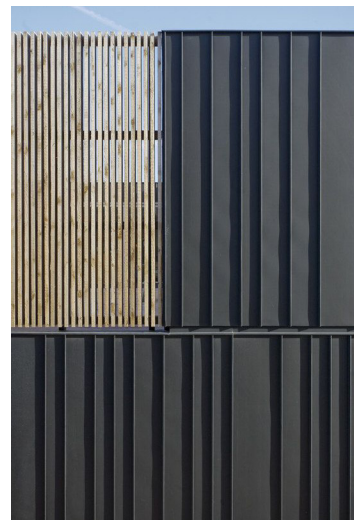
8.2_ Material Palette + Precedent Studies

Use_ Amount Layout

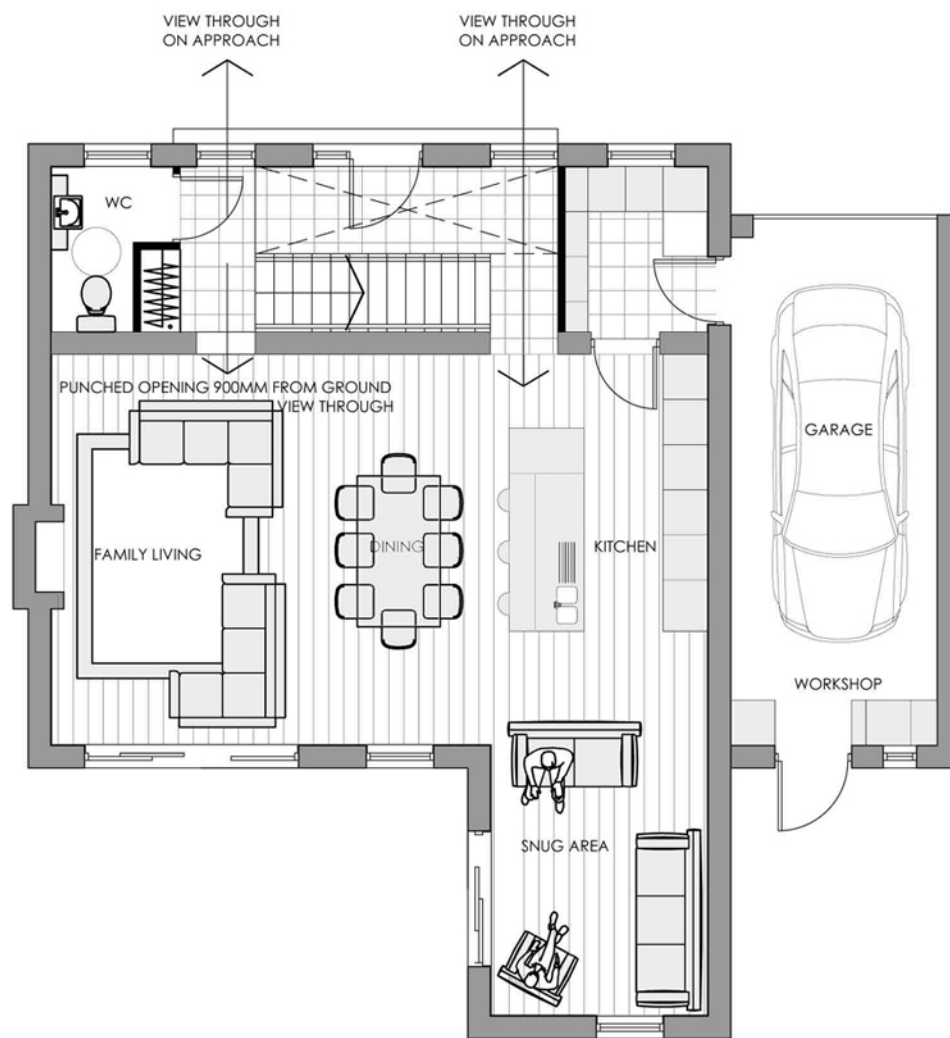
A strong connection to natural stone on surrounding plots has already been established, and the connection with stone and residential areas around Dodworth is important. There is a significant stone corridor in the area of Dodworth, Cawthorne + Howlandswaine and the material has a strong connection to the history of Barnsley.

The Zinc material provides a contrasting texture to the Stone, and the vertical seams strengthen the verticality of the building and also 'frames' the entrance. The folded metal provides a link to the industrial history of the town.

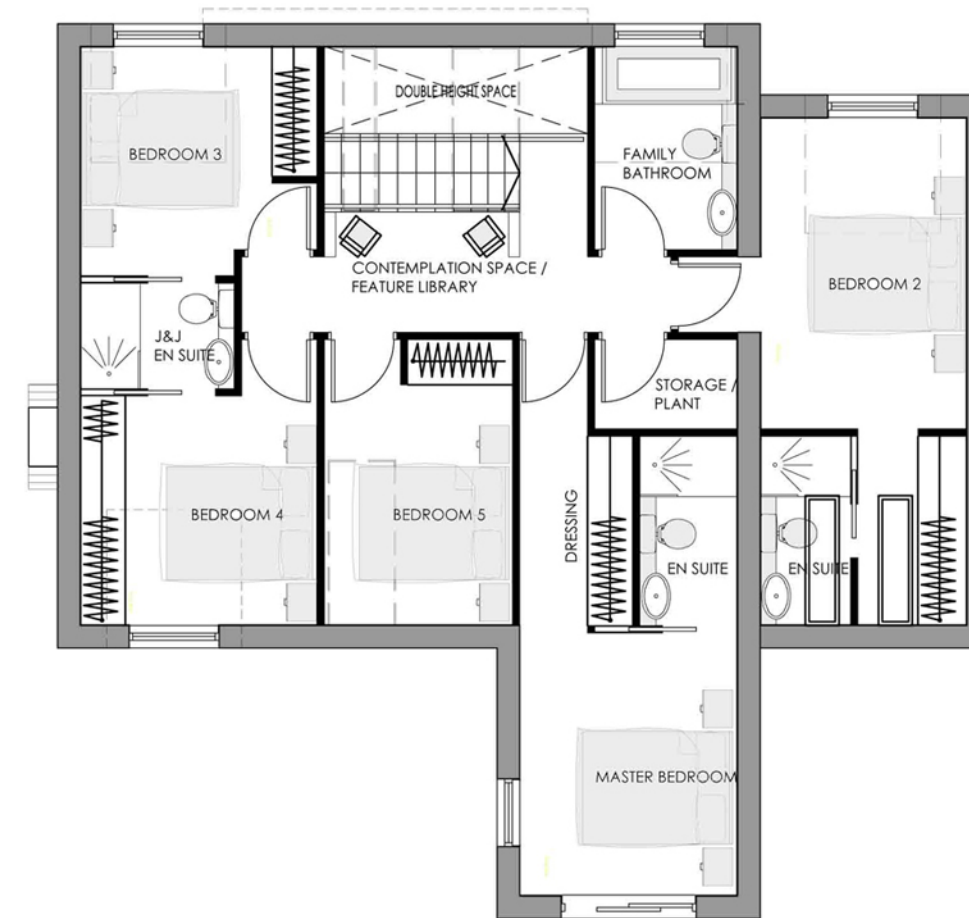
All timber, including between windows and cladding are to be finished in the same light timber colour. This simplifies the number of textures and colours on the facade of the building to express the form.



8.4_ Layout + Configuration_ **Floor** Plans



GROUND FLOOR PLAN



FIRST FLOOR PLAN

8.5_ Layout + Configuration_ Elevations



FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



REAR ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100

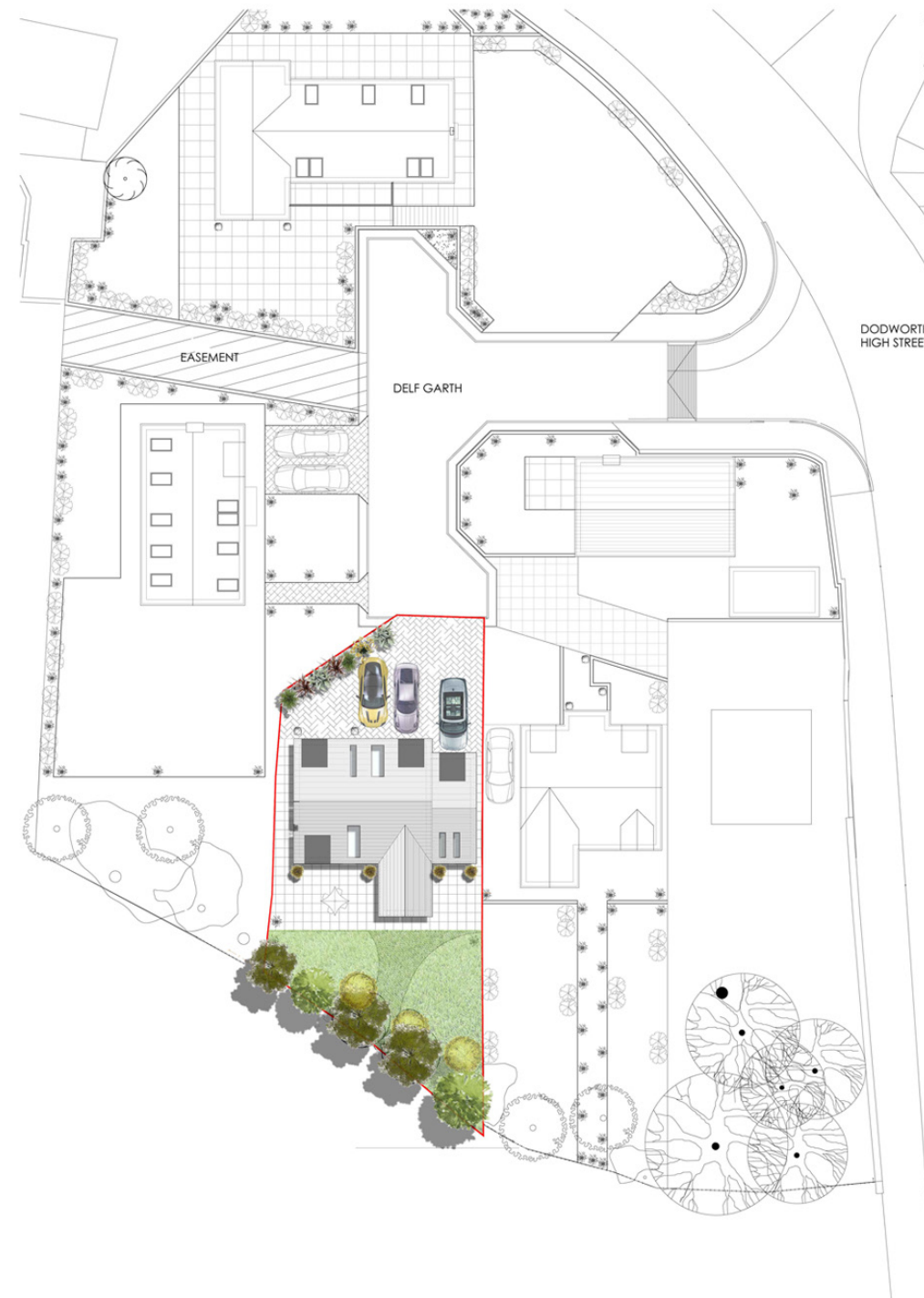
8.6_ Layout + Configuration_ Site Sections



8.7_ Layout + Configuration_ Site Plan



AS PROPOSED PLOT 4_ SITE PLAN



AS PROPOSED PLOT 4_ LOCATION PLAN



9.0_ Sustainable

Reducing the reliance on vehicles and associated transport-related pollution and carbon emissions, through encouraging efficient, effective movement by a wide range of transport modes is a crucial aim of sustainable development. Whilst the nature of the area generally determines that most movement to and from the site will probably be by car, the site nevertheless has good public transport links that are located in the immediate vicinity (a bus stop is only 100m away). The main train and bus/coach stations are located relatively close by in Barnsley Town centre which itself is well served by excellent public transport links throughout the region and beyond. Dodworth also has a train station that is approximately half a mile from the site.

To encourage prudent and efficient use of resources we propose the dwelling is to be provided with 1 general waste bin, preferably of the slim-line variety to encourage householders to reduce their general waste generation production and increase recycling capacity. We also propose that to be provided with an external compost bin. The waste management system is to be co-ordinated with provider.

10.0_ Conclusion

There is clearly a good opportunity to develop the site. The site is a prominent location from leaving the M1 motorway and driving through the main road into Dodworth.

Due to the nature of the of the site's typography there is an prospect to create an eclectic mix of building massing that will respond to the site and in turn provide sweeping vistas of the rural landscape in a south westerly direction.

On completion the design proposals will infill the current gap in the street scene by repositioning the design continuing the building line to that of plot 2-4 while enhancing the visual aesthetic of the area.

The form of the site will ensure that although the street scene will be enclosed and the proposal will not directly address the main road and essentially will turn its back on the High Street to form a secure, enclosed community.

The raising site typography towards the North West of the site allows for exceptional views but Tthe plot has an opportunity to achieve excellent external space that will allow for front, rear and side gardens which should also be expected with the standard of design proposal and can often be overlooked in some design of private housing estates nowadays as developers aim is to increase the amount of property on the site in order to increase profit. This is not applicable to this development.

The development will provide a high quality scheme that responds sustainably and sympathetically to its immediate surroundings of the neighboring housing domains and wider context of the village of Dodworth.

This will be achieved in terms of its architectural design, massing and density, materials, the layout and type of property and in relation to its urban and landscape design.

The design proposal is set out to intentionally not be identical to its immediate neighbours. There is a clear chance to employ variety within the overall architectural theme of a style to brand the site as an example of architectural design and quality.

11.0_ Visual CGI_ Plot 4_ Delf Garth_ Dodworth

Eight_OneTwo
A r c h i t e c t s

