

HIRST ARCHITECTS

Design and Access Statement

Proposed remodelling and external alterations to existing workshop, storage and office building

Rear of 56 Hoyland Road, Hoyland Common, Barnsley, S74 0PB

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Prepared for: Private Client
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Above: Architects 3D model conceptual visualization (Sketchup & D5 Render) © Hirst Architects Ltd 2026

Introduction

This Design and Access Statement has been prepared by Hirst Architects Ltd in support of a full planning application for the remodelling and external alteration of the existing workshop, storage and office building to the rear of 56 Hoyland Road, Hoyland Common, Barnsley.

The statement should be read alongside the submitted Hirst Architects drawings, including the existing plans and elevations, proposed plans, sections and elevations, and the supporting three-dimensional visual material appended to this document. The application is presented as a fresh full planning application. The previous 2021 approval is treated as material planning history.

The proposed development does not seek to introduce a new planning principle. The site is an established workshop, storage and office site. The current proposal provides a revised architectural solution for the continued use of the building for workshop, storage and ancillary office/workspace purposes. The proposal rationalises the building form, updates the external appearance, and makes efficient use of an established commercial site within the urban fabric of Barnsley.

Proposed application description

For the purpose of the planning application, the following description is recommended:

Remodelling and external alterations to existing workshop, storage and office building, including replacement roof, revised first-floor office/workspace accommodation, updated openings, roller shutter door, external material treatment and associated works. Continued uses under Class E, E(g)(i), E(g)(iii), Class B8, and class B2.

The description intentionally retains the established workshop/storage/office character of the site and avoids presenting the proposal as a new, materially intensified commercial estate. Any internal references to individual units on the drawings should be read as internal subdivision of the established building and not as a separate retail, trade counter or uncontrolled multi-occupier use.

Documents reviewed and submitted material

This statement has been prepared with reference to the following planning history and application material:

Document	Reference	Relevance
Existing plans and elevations	Hirst Architects HA-260301-D1	Existing site/building arrangement and site location context.
Proposed plans, sections and elevations	Hirst Architects HA-260301-D3	Proposed internal arrangement, first-floor accommodation, roof form and elevational treatment.
Proposed 3D visual material	Hirst Architects HA-260301-D4, D5 and D6	Visual assessment of proposed massing, material expression and relationship with neighbouring built form.
2021 Decision Notice	Barnsley MBC Ref. 2021/0013	Approval for external alterations to the existing workshop/store/office building including replacement roof and re-modelling.
2021 Officer Report	Barnsley MBC Ref. 2021/0013	Material planning history accepting first-floor office accommodation, no increase in footprint and no unacceptable amenity/highway harm.
2024 Decision Notice	Barnsley MBC Ref. 2024/0246	Live approval for demolition and replacement single-storey store and office, subject to conditions controlling hours, approved drawings, materials and external plant.
2024 Officer Report	Barnsley MBC Ref. 2024/0246	Material planning history confirming the principle of an employment/storage/office building on the site and assessing amenity, highways, design and pollution matters.
Barnsley Local Plan	Adopted January 2019 and reviewed November 2022	Development plan policy context, including Urban Fabric allocation and policies SD1, LG2, GD1, D1, POLL1 and E4.
National Planning Policy Framework	December 2024, amended February 2025	National policy context for sustainable development, economic growth, transport and design.

Site location and existing context

The application site is located to the rear of 56 Hoyland Road, Hoyland Common, Barnsley, S74 0PB. The site lies within the urban area and is accessed via the existing shared access route serving rear land and the adjoining residential development. The building is set back from the primary street frontage and is seen only in limited views from the surrounding public realm.

The site has an established commercial/employment character, comprising a workshop, storage and office building. Previous planning reports describe the building as a light industrial workshop/store building with associated office accommodation, comprising a mixture of single-storey and two-storey elements and constructed from brick and profiled metal sheeting.

The immediate context is mixed. Properties fronting Hoyland Road include two-storey terraced buildings with a mixture of commercial and residential uses. The application building sits to the rear and adjoins domestic outbuildings and the boundary with the residential development to the north, including 4 The Old Smithy. This relationship has been considered in the design of the revised scheme.

Relevant planning history

The planning history is directly relevant and should be afforded material weight in the assessment of the current proposal.

Application 2021/0013 approved external alterations to the existing workshop/store/office building including replacement roof and re-modelling. Although that permission was not commenced and is no longer available as a route to implementation, the officer assessment remains relevant. The report accepted the principle of first-floor office accommodation, a in floorspace, no increase in footprint, and no unacceptable effect on neighbouring amenity, highway safety or visual amenity.

Application 2024/0246 approved demolition of the existing building and erection of a single-storey store and office. That approval confirms the continuing acceptability of the principle of an employment/storage/office building on the site. The 2024 officer report confirmed that the site falls within Urban Fabric, that the site is an established light industrial use, that Highways raised no objection, that Pollution Control raised no objection subject to conditions, and that no third-party representations were received.

The current proposal draws on both strands of planning history. It retains the established use and site access, provides an updated design and material treatment, and reflects the previously accepted principle of first-floor office/workspace accommodation within the building.

The proposed development

The proposal seeks planning permission for the remodelling and external alteration of the existing building to provide a more coherent, modern and functional workshop/storage/office building. The proposal includes revised internal accommodation at ground and first-floor levels, a replacement/remodelled roof form, revised openings and updated external materials.

At ground floor, the scheme provides workshop/storage accommodation, reception/office space and accessible WC provision. At first-floor level, the scheme provides office/workspace accommodation associated with the established commercial use of the site. The proposal does not introduce residential accommodation and does not seek permission for retail use, a public trade counter, or a use that would materially alter the character of activity at the site.

The proposed design rationalises the current building, which has historically included varied roof forms, mixed materials and an irregular relationship between single-storey and two-storey elements. The revised design creates a more legible architectural composition and a more controlled material palette.

Design statement

Amount and use

The amount of development remains modest and relates to the efficient use and remodelling of an existing commercial building on an established commercial site. The first-floor accommodation is consistent with the planning principle assessed under 2021/0013, where first-floor office floorspace was accepted as part of the remodelling of the building.

The internal layout is intended to provide flexible workshop, storage and office/workspace accommodation. Any internal subdivision is ancillary to the overall workshop/storage/office function and should not be interpreted as a new planning unit or a materially intensified use.

Layout

The proposal retains the established position of the building within the rear plot and maintains the existing access relationship. The principal functional entrance and roller shutter access remain orientated towards the existing access/yard area, thereby avoiding the need for new highway access or a reconfiguration of the wider site.

The layout has been developed to maintain a contained and inward-facing commercial arrangement. Openings are positioned to support the internal accommodation and avoid direct overlooking of neighbouring private amenity areas.

Scale and massing

The scale and massing remain appropriate to the established building and its immediate context. The site already contains a building with varied single-storey and two-storey elements, and previous planning assessments have accepted both the existing mixed-scale condition and the principle of remodelling to create first-floor office accommodation.

The proposed envelope is read as a rationalised remodelling of the existing rear commercial building. The massing is contained within the rear context and is not prominent within the Hoyland Road street scene. The arrangement is therefore compatible with the mixed rear-yard and commercial character of the site.

Appearance and materials

The proposed appearance is a clear improvement over the existing piecemeal material treatment. The design introduces a coordinated contemporary palette comprising masonry at lower level and profiled metal cladding to upper/roof elements. The visual composition is deliberately simple, robust and commercial in character, reflecting the established workshop/storage function of the building while improving visual coherence.

The proposed elevational approach responds to concerns identified in previous planning history by providing a controlled, high-quality treatment. The darker upper element visually consolidates the first-floor/roof zone, while the lower masonry plinth provides a more grounded relationship with the adjoining masonry context. The proposed material strategy is considered to accord with the design objectives of Local Plan Policy D1.

Access, parking and servicing

The application does not propose a new vehicular access or a material change to the existing access arrangements. Pedestrian and vehicular access would continue to be taken from the existing access serving the rear site.

The proposal is not expected to result in a material increase in vehicle movements beyond the established commercial/workshop/storage use of the site.

Servicing would remain within the existing access and yard arrangement. The proposal is therefore consistent with the conclusions reached in the previous assessments, where no unacceptable highway safety impact was identified.

Residential amenity and pollution control

The relationship with nearby residential properties has been considered carefully. The proposal does not introduce residential use, late-night activity, external plant or customer-facing retail activity. The established nature of the commercial site and the containment of the building within the rear plot limit the potential for additional impact.

Previous officer reports have accepted that the building is in close proximity to neighbouring residential properties but that the building form, scale, location and established commercial context do not give rise to unacceptable overshadowing, overbearing impact or privacy harm. The current proposal maintains that planning balance.

To safeguard neighbouring amenity, the applicant would be willing to accept conditions consistent with the 2024 approval, including controls on construction hours, operational hours and external plant. In particular, no external plant is proposed as part of this application. Should external plant be required in the future, it could be controlled by condition requiring prior submission and approval of a noise impact assessment and mitigation details.

Biodiversity, drainage and other technical matters

Biodiversity Net Gain

The application site is an established built commercial site comprising building and hardstanding. Previous application information confirmed no trees or hedges within the proposed development site or on adjoining land likely to influence the development. On the basis that the proposal affects only existing building, hardstanding and developed land with no loss of priority habitat and no more than de minimis impact on any habitat with biodiversity value, the application is expected to be capable of relying on the de minimis Biodiversity Net Gain exemption.

Drainage, waste and external plant

The proposal does not seek to materially alter the established drainage strategy for the site. Foul drainage would continue to connect to the existing system, subject to detailed building regulations design. Surface water arrangements would be confirmed through the detailed design process and should not increase flood risk elsewhere.

Waste and recyclable material storage would be contained within the unit/building, consistent with the previous application approach. No trade effluent or hazardous substances are proposed. No external plant is proposed as part of this application.

Planning policy assessment

Section 38(6) of the Planning and Compulsory Purchase Act 2004 and section 70(2) of the Town and Country Planning Act 1990 require planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise. The National Planning Policy Framework is a material consideration.

The site is within Urban Fabric in the Barnsley Local Plan. The proposal accords with Policy LG2 because it supports appropriate development within Urban Barnsley and makes efficient use of an established site. It accords with Policy E4 because it retains land and premises last used for employment purposes and supports the continued economic use of the site.

The proposal accords with Policy GD1 because it is compatible with the surrounding mixed-use context and would not give rise to a significant adverse effect on the living conditions of neighbouring occupiers. The building has an established commercial use and the application does not introduce a fundamentally different use or activity pattern.

The proposal accords with Policy D1 because the revised design would improve the visual quality of the existing building, rationalise the roof and elevational composition, and provide a more cohesive material palette. The building is set back from the main street scene and the proposed appearance would enhance rather than harm the visual amenity of the locality.

The proposal accords with Policy POLL1 because it would not create an unacceptable increase in noise, dust, vibration, light or other pollution. Conditions controlling construction hours, operational hours and external plant would provide appropriate mitigation and would reflect the approach taken on previous approvals.

The proposal accords with transport objectives because it retains the existing access and does not introduce a material intensification likely to cause highway harm. The previous planning history confirms that the site access and servicing arrangements have been considered acceptable in principle.

At national level, the NPPF supports sustainable development, economic growth, the effective use of land and high-quality design. Paragraph 85 states that planning decisions should help create the conditions in which businesses can invest, expand and adapt. Paragraph 131 confirms that high-quality, beautiful and sustainable buildings and places are fundamental to the planning process. The proposal responds positively to these objectives by investing in an established employment building and improving its function and appearance.

Conclusion

The proposal represents an appropriate, proportionate and design-led remodelling of an established workshop, storage and office building within the urban area. It does not introduce a new planning principle, does not alter the established access, and does not propose a retail, residential or late-night use.

The planning history is strongly supportive. The 2021 officer report accepted the principle of first-floor office accommodation within the remodelling of the existing building. The 2024 approval confirmed the continuing acceptability of an employment/storage/office building on the site. The current proposal brings these two strands together through a fresh full planning application with an improved architectural treatment.

Subject to appropriate conditions controlling use, hours of operation, construction hours and external plant, the proposal would not result in unacceptable harm to neighbouring amenity, highway safety, visual amenity, biodiversity or pollution control objectives. The application therefore accords with the development plan when read as a whole and is supported by the relevant material planning history and the National Planning Policy Framework.

References

Barnsley Metropolitan Borough Council, Decision Notice 2021/0013, dated 10 March 2021.

Barnsley Metropolitan Borough Council, Officer Report 2021/0013.

Barnsley Metropolitan Borough Council, Decision Notice 2024/0246, dated 2 July 2024.

Barnsley Metropolitan Borough Council, Officer Report 2024/0246.

Barnsley Local Plan, adopted 3 January 2019.

National Planning Policy Framework, December 2024, amended February 2025.

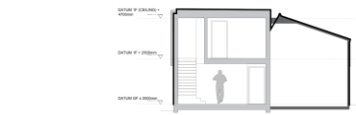
Planning Practice Guidance: Biodiversity Net Gain.

Government guidance: Biodiversity Net Gain exempt developments.

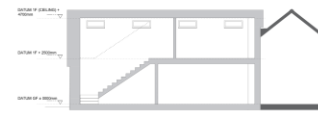
Appendix A - Proposed drawing and visual material

The following figures reproduce the proposed planning drawing and visual material submitted in support of the application.

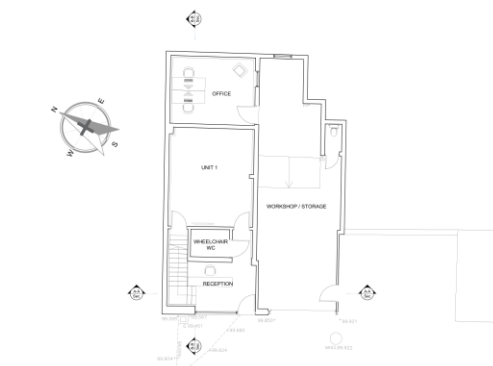
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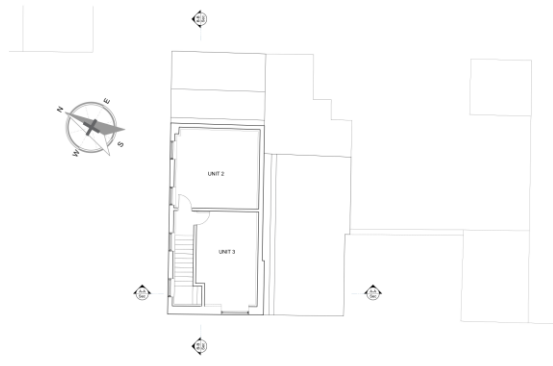
Proposed Section A - A Option - 2
Scale 1:100



Proposed Section B - B Option - 2
Scale 1:100



Proposed Ground Floor Plan Option - 2
Scale 1:100



Proposed First floor Plan Option - 2
Scale 1:100



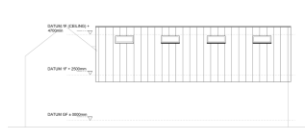
Site location Plan
Scale 1:1250



Site Location Plan
Scale 1:500



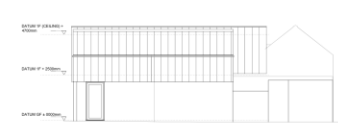
Proposed West Elevation Option - 2
Scale 1:100



Proposed North Elevation Option - 2
Scale 1:100



Proposed East Elevation Option - 2
Scale 1:100



Proposed West Elevation Option - 2
Scale 1:100

HIRST ARCHITECTS

11/11/2020
Mr Lee Forster

Site at back of 56 Hoyland Road, Barnsley, S74 0PB

HA-260301 - D3 - Proposed Plans section and elevations option 2

First Issue

RIBA Stage 2 Concept Design

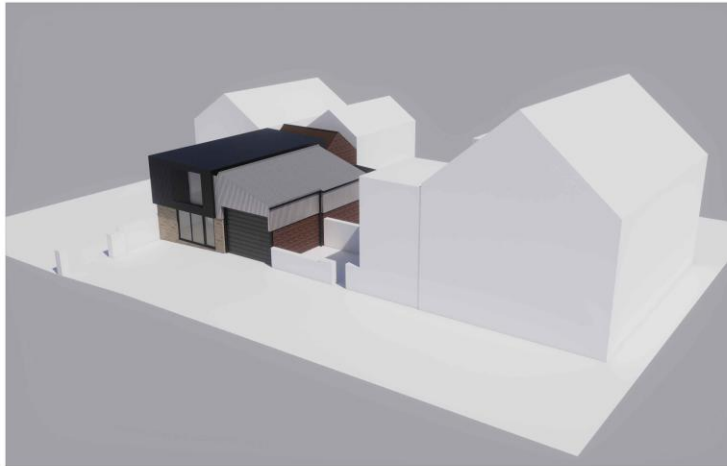
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Figure 1: Proposed plans, sections and elevations - Hirst Architects HA-260301-D3.

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Proposed 3D Visuals
Scale NTS



HIRST ARCHITECTS

CLIENT
Mr Lee Forster

PROJECT LOCATION
Site at back of 56 Hoyland Road, Barnsley, S74 0PB

PROPOSED DRAWING
HA-260301 - D5 - Proposed 3d Visual P2

PROPOSED DATE
First Issue

PREPARED BY
HIBA Stage 2 Concept Design

DESIGNED BY
Lee and Sarah Moxness / ADRIA and HIBA CHARTERED ARCHITECTS

DATE
2023

SCALE
1:100

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A.1

Figure 3: Proposed 3D visuals - contextual views - Hirst Architects HA-260301-D5.



Proposed 3D Visual
Scale NTS

Figure 4: Proposed 3D visual - rear/side contextual view - Hirst Architects HA-260301-D6.