

**Application Reference:** 2026/0064

**Site Address:** 18 Clough Road, Hoyland, Barnsley, S74 9DZ

**Introduction:** Erection of a two storey side and two storey rear extension including raised platform and the erection of a detached outbuilding

### **Relevant Site Characteristics**

The property is a semi-detached dwelling within the Hoyland area. The dwelling is constructed from red brickwork and features a hipped roof. A single storey flat roofed garage extension is located to the east of the dwelling. The rear garden space of the site and the east boundary previously consisted of substantially boundary treatment in the form of trees and vegetation. This has since been cleared.

Allotments are located to the east of the site. The remaining surrounding area is characterised by semi-detached properties constructed from similar materials to the site.

### **Detailed description of Proposed Works**

The applicant is seeking permission to erect a two-storey side and rear extension including a raised platform and to erect a flat roofed outbuilding to the rear of the dwelling.

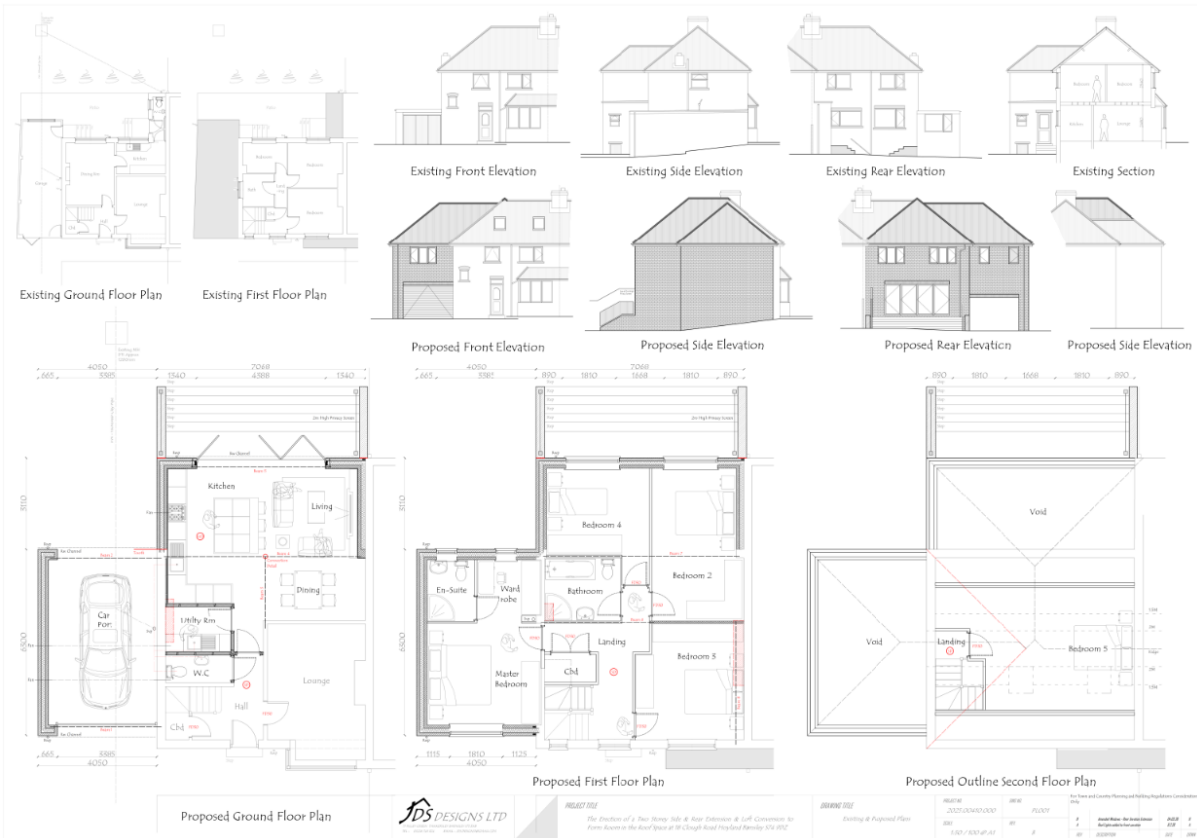
The proposed side extension would project to the east of the dwelling by approximately 4 metres and would have an approximate length of 6.3 metres. A hipped roof form is proposed with an approximate eaves' height of 4.9 metres and an approximate ridge height of 7.9 metres. The ground floor level is proposed to form an enclosed carport with a garage door to the front elevation spanning approximately 3.4 metres. Glazing is proposed to the front elevation to service a bedroom and glazing to the rear elevation in the form of two windows, one to service a wardrobe area and one to service an en-suite.

The proposed rear extension would project to the rear of the dwelling by approximately 3.1 metres and have an approximate width of 7 metres. A hipped roof form is proposed with an approximate eaves' height of 5.7 metres and an approximate roof height of 8 metres. Bifold doors are proposed to the rear elevation at ground floor spanning approximately 4.4 metres and servicing a kitchen and living room. Two windows are proposed to the rear elevation at first floor levels, each servicing a bedroom. A raised platform area is proposed to the rear of the extension at a height of approximately 1 metres and projecting to the rear approximately 1 metre and spanning approximately 7 metres. Stairs leading to the existing rear garden level is proposed projecting approximately 1.5 metres. A 2-metre-high privacy screen is proposed to the west of the raised platform.

Two rooflights are proposed to the front elevation servicing a bedroom.

A flat roofed L-shaped outbuilding is proposed to the rear of the dwelling. The outbuilding would have an approximate height to the front elevation of 2.7 metres and have an approximate height at the rear elevation of approximately 3.2 metres. The outbuilding would have an approximate front elevation width of 3.7 metres and an approximate rear elevation width of 7.5 metres. An approximate length of 7.5 metres is proposed to the east and an approximate length of 3.7 metres to the west elevation. A garage door is proposed to the front of the outbuilding and a door is proposed to the west elevation.

The proposals are detailed to be constructed from matching brickwork.



## **Relevant policies**

### The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

### National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

### Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

### **Consultations**

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

Representation was received requesting clarification for the use of the outbuilding and the dimensions of the proposed outbuilding. A response was provided to the clarifications, and no objections have been received as a result.

### **Planning Assessment**

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

### **Principle**

The site falls within Urban Fabric where extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

### Scale, Design and Impact on the Character

The Supplementary Planning Document for House Extensions states 'all two-storey side extensions should have a pitched roof following the form of the existing roof. To prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 500mm from the main front wall of the dwelling. A setback from the front elevation allows for a vertical break in the roof plane and a lowering of the ridge line. The sideways projection of a two storey side extension should not exceed more than two thirds the width of the original dwelling. Where located on a corner plot the sideways projection should not exceed more than half the width of the gap between the side elevation of the original dwellings and the side boundary (unless the gap exceeded more than two thirds the width of the original dwelling).'

The proposed side extension would provide an acceptable sideways projection of approximately 4 metres and is therefore less than two-thirds the width of the existing dwelling. A hipped roof form has been proposed which matches the roof type of the existing dwelling and provides a matching eaves height allowing the proposal to remain in keeping with the character of the site and street scene. The extension has been set back from the front elevation, and the ridge has been set down from the existing ridge line ensuring the proposal to remain subordinate to the dwelling, and in line with the SPD. A garage door has been proposed to the front elevation which is of a similar scale to the existing garage extension. The proposed front elevation window is of a similar size and design to the existing glazing on the dwelling.

The Supplementary Planning Document for House Extensions states 'two-storey rear extensions will be considered on the basis of the extent of overshadowing, loss of privacy and outlook. Two-storey extensions to terraces and semi-detached properties which abut a party boundary and adversely affect main windows will not normally be allowed. Two-storey rear extensions to semi-detached houses should, therefore, generally be designed with a rear projection of less than 3.5 metres and for terraced houses 2.5 metres. Larger extensions may be acceptable in certain circumstances -for instance: where the neighbouring house has been extended; or where there is a strong boundary treatment, such as a high wall or an outbuilding or garage built close to the boundary. Similarly, there may be circumstances where only smaller extensions are acceptable for instance: on sloping sites or where neighbouring houses are already overshadowed.'

The rear extension proposes a modest rearward projection of approximately 3 metres and is therefore less than the maximum 3.5 metres permitted for semi-detached dwellings within the House Extensions SPD. The proposal provides a matching eaves height to the existing dwelling and a matching hipped roof form allowing the proposal to remain in keeping with the site.

The Supplementary Planning Document for House Extensions states 'Detached garages and outbuildings should relate sympathetically to the main dwelling in style, proportions and external finishes. In most cases, it will not be appropriate for a garage to be sited between the house and the road. Detached garages and outbuildings should be single storey structures and the eaves height should not normally exceed 2.5 metres from ground level, whilst the ridge height should not exceed 4 metres. Proposals for garages will be assessed using the reference of a standard size for a single garage as outlined in the South Yorkshire Residential Design Guide, which states the internal floor area for garages should be 3m by 6.5m. For double garage proposals a standard floor area size is considered to be 6.5m x 6.5m. It is not considered appropriate for detached garages to include dormer windows as a way of accommodating rooms in the roof space, however, in some circumstances (e.g. where the garage is set within a large curtilage) it may be possible to utilise the roof space for ancillary accommodation/storage but not as an annex/granny annex. Where the privacy of neighbouring residents would not be compromised it may therefore be possible to install roof lights.'

The proposed height of the outbuilding at the front would be approximately 2.7 metres and due to the topography of the site increases to 3.25 metres at the rear. The proposal provides a flat roof which is lower than the maximum 4 metres outlined within the House Extensions SPD however does provide an eaves height greater than the 2.5 metres outlined. The height of the outbuilding is not considered to be of a height which would be detrimental to the character of the site. The use of a flat roof is not preferred, however is acknowledged to be to the rear of the dwelling and therefore not impactful on the street scene. The outbuilding would provide an acceptable, approximate floorspace of 35 sqm and is less than the maximum 39sqm outlined in the House Extensions SPD. Matching materials have been provided, allowing the proposal to remain in keeping with the character of the site.

Matching materials have been detailed throughout, ensuring the proposal will remain in keeping with the character of the site and the street scene.

Furthermore, if the height of the outbuilding was reduced by 200mm at the higher land level it would be permitted development.

It is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making and as such carries significant weight in favour of the application.

#### Impact on Neighbouring Amenity

The proposed side extension would be erected to the east of the existing dwelling. Given the proposed extension would be between the dwelling and allotments, the proposal would have little to no overbearing or loss of light impact on neighbouring properties. The proposed glazing to the front elevation would be no more impactful on neighbouring properties than the existing glazing. The glazing to the rear elevation servicing a wardrobe would also have no impact on neighbouring amenity space. The rear elevation window of the side extension to service an en-suite shall be conditioned to be obscured glazing in order to protect the privacy of the applicant, neighbours to the rear and any members of the public making use of the allotments to the east of the site.

The proposed rear extension would provide a similar rearward projection to the adjoining neighbour's rear extension. The proposal would therefore not have an overbearing impact on this neighbour. The rear extension also therefore would not intersect the 45-degree angle of this neighbour and would not result in a loss of light. The proposed rear extension provides first floor glazing which does look towards the south and to neighbouring amenity space, however the rear and west of the site does provide boundary treatment which screens the proposal and ability to overlook amenity space.

The proposal details a raised platform allowing access to the rear garden from the ground floor of the proposed rear extension. The raised platform would provide an increased floor level of approximately 1 metre and would project approximately 1 metre to the rear. A 2-metre-high privacy screen is proposed to the west of the proposed raised platform which will substantially screen the proposal and prevent any opportunity for overlooking. Substantial boundary treatment to the rear of the site also prevents the raised platform from providing any detrimental levels of overlooking.

The proposed outbuilding would be erected to the north of 44 Clough Road. Given the outbuilding would be to the north of the neighbour, the proposal would not be likely to cause significant loss of light to neighbouring amenity space. The outbuilding provides a flat roof with a maximum height at the boundary of approximately 3.25 metres. Although flat roofs are usually avoided, on this occasion the use of a flat roof would reduce the dominance of the outbuilding and in turn reduce the impact of the proposal. No rear windows have been proposed, ensuring there is no opportunity for overlooking. In order to protect the residential amenity of neighbours, a condition will be added to any approval ensuring the outbuilding shall not be used for any purpose other than uses ancillary to the main dwelling and not for any trade or business purposes, nor used as a separate residential use or annex and shall not be severed at a later date to create a separate planning unit.

It is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook to a detrimental level and is in compliance with Local Plan Policy GD1 General Development. This carries substantial weight in favour of the application.

## Highways

The Supplementary Planning Document for Parking states a dwelling should provide '2 spaces for a dwelling with 3 or more bedrooms.' The proposal would increase the number of bedrooms at the property from 3 to 5. The proposal would allow for 2 parking spaces and is therefore compliant with the requirements of the Parking SPD for a property with 3 or more bedrooms.

As such the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4 New Development and Transport Safety. This carries significant weight in favour of the application.

## Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

## **RECOMMENDATION: Approve subject to conditions**

### **Justification**

#### **STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015**

It has been necessary to make contact with the applicant to make minor amendments to include rooflights to service the loft converted bedroom and to alter the rear elevation windows of the proposed side extension in order to be consistent with the proposed plans.

**Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.**

### **Conditions:**

- 1) The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.**

- 2) The development hereby approved shall be carried out strictly in accordance with the amended plans:

Existing & Proposed Plans 2025.00410.000 DwgNo:PL001 Rev:B  
Proposed Plans 2025.00410.000 DwgNo:PL002

and specifications as approved unless required by any other conditions in this permission.

**Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making and Local Plan Policy HE1 The Historic Environment.**

- 3) The external materials shall match those used in the existing building.

**Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.**

- 4) The first floor rear elevation window of the proposed side extension servicing an ensuite shall be of obscured glazing with an obscurity rating of no less than 4 in the Pilkington Glass Range (or an equivalent obscurity rating). The glazing shall be retained as such thereafter.

**Reason: In order to safeguard amenities of the applicant, neighbours and the public in accordance with Local Plan Policy GD1 General Development.**

- 5) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development (England) Order 2015 (or any Order revoking and/or re-enacting that Order), the outbuilding hereby permitted shall be retained as such and shall not be used for any purpose other than uses ancillary to the main dwelling (18 Clough Road, Hoyland, Barnsley, S74 9DZ). It shall not be used for any trade or business purposes, nor used as a separate residential use or annex and shall not be severed at a later date to create a separate planning unit.

**Reason: To ensure that the use of the existing access is not intensified to the detriment of road safety in accordance with Local Plan Policy T4 New Development and Transport Safety, and to ensure that the residential use of the site is not intensified, contrary to sustainable development and Local Plan Policy T3 New Development and Sustainable Travel.**

#### **Informative(s):**

1. The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner.

If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.

2. This permission shall not be construed as granting rights to carry out works on, under or over land not within the ownership, or control, of the applicant.