

2022/0588

Countrywide Healthcare

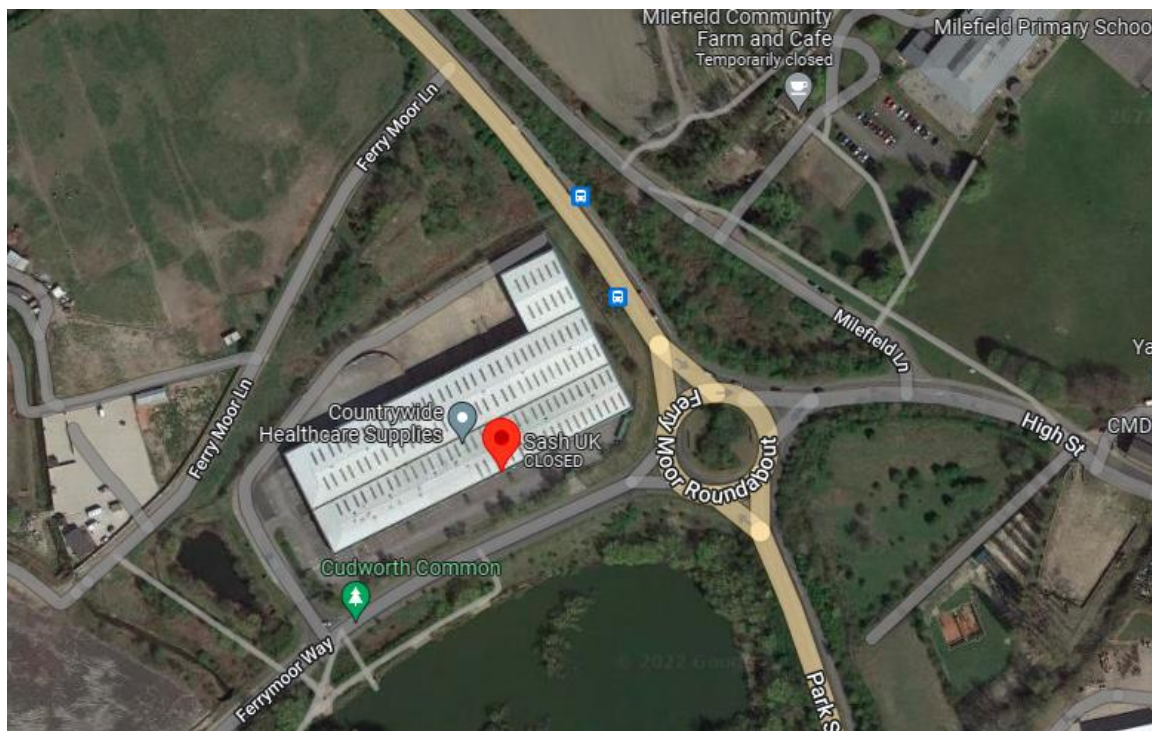
Installation of solar pv system to roof of building (Prior Approval)

Sash Products Uk Ltd, Ferrymoor Way, Grimethorpe, Barnsley, S72 7BN

Site Description

The site is located off Ferrymoor Way, Grimethorpe and consists of a large industrial unit now occupied by Countrywide Healthcare Ltd. The building is constructed of a brick base with metal cladding above, with windows to the southern elevation. The building is constructed with two low pitched roofs which join into a valley in the centre. There is a smaller offshoot extension set to the north west of the building.

The site is bounded by Park Springs Road to the east, Ferrymoor Way to the south and Ferry Moor Lane to the north. Milefield Primary school is set approximately 100m to the north east of the site and is separated by Park Spring Road and a screening belt of trees. Approximately 60m to the north west of the site, adjacent to Ferry Moor Lane is a small Gypsy/Travellers site.





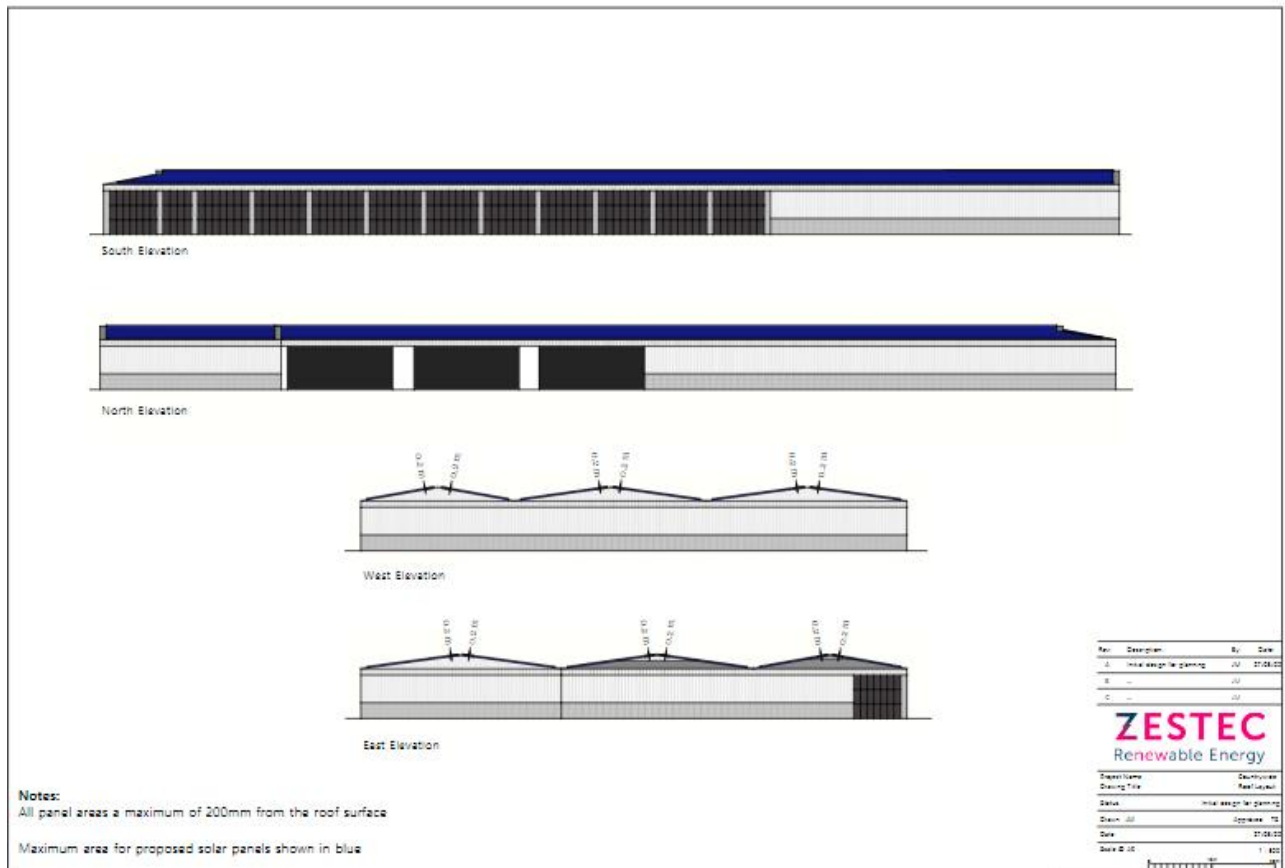
Proposed Development

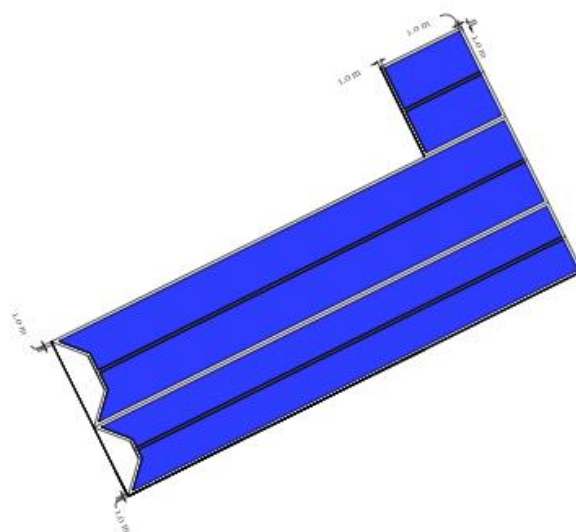
The applicant has submitted an application to determine if prior approval is required for the installation of solar PV system on the roof of Sash Products Uk Ltd, Ferry Moor Way, Grimethorpe.

- The Solar PV system would total less than 250kWp therefore the total electrical generation capacity of all the solar photovoltaics installed on the building under

permitted development rights (previously and in this proposal) would not exceed 1 megawatt

- The proposed system will be on a shallow pitched roof so the visual impact and risk of glare will be very low
- The equipment will be removed from the roof once it reaches the end of its useful life
- The installation would be set on a pitched roof
- The solar photovoltaic equipment would not protrude more than 0.2 metres beyond the plane of the roof slope (when measured from the perpendicular with the external surface of the roof slope)
- No part of the solar photovoltaic equipment come within 1 metre of the external edge of the roof
- The proposed photovoltaic equipment would not be installed on roof slope which fronts a highway, of a building: • in a conservation area; • in an area of outstanding natural beauty; • in an area specified by the Secretary of State for the purposes of enhancement and protection of the natural beauty and amenity of the countryside; • in the Broads; • in a National Park; • in a World Heritage Site
- The proposed photovoltaic equipment would not be installed on any part of the roof of a building that is: • a scheduled monument (or the site contains one) • a listed building (or within the curtilage of a listed building)





Notes:

All panel areas a minimum of 1m from external roof edges

Maximum area for proposed solar panels shown in blue

Rev	Description	By	Date
1	Initial design for planning	JL	27.08.22
2	-	JL	-
3	-	JL	-
ZESTEC Renewable Energy			
Supervisor	Design/Draw	Quantity	
Drawing Title	Roof Layout		
Scale	Initial design for planning		
Drawn	JL	Approved	TS
Date	27.08.22		
Issue No	1		



Policy Context

Schedule 2 Part 14, Class J (*installation or alteration etc of solar equipment on non-domestic premises*) of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) states that development is permitted for the installation, alteration or replacement of –

- a. microgeneration solar thermal equipment on a building;
- b. microgeneration solar PV equipment on a building; or
- c. other solar PV equipment on the roof of a building, other than a dwellinghouse or a block of flats.

The applicable classes related to the proposed development are Class J(c). Development is not permitted by Class J (c) if—

- a. the solar PV equipment or solar thermal equipment would be installed on a pitched roof and would protrude more than 0.2m beyond the plane of the roof slope when measured from the perpendicular with the external surface of the roof slope;
- b. the solar PV equipment or solar thermal equipment would be installed on a flat roof, where the highest part of the solar PV equipment would be higher than 1m above the highest part of the roof (excluding any chimney);
- c. the solar PV equipment or solar thermal equipment would be installed within 1m of the external edge of that roof;
- d. in the case of a building on article 2(3) land, the solar PV equipment or solar thermal equipment would be installed on a roof slope which fronts a highway;
- e. the solar PV equipment or solar thermal equipment would be installed on a site designated as a scheduled monument; or
- f. the solar PV equipment or solar thermal equipment would be installed on a listed building or on a building within the curtilage of a listed building.

Development is also not permitted by Class J(c) if the capacity of the solar PV equipment installed (together with any solar PV equipment installed under Class J(b)) to generate electricity exceeds 1 megawatt.

Conditions

Class J development is permitted subject to the following conditions—

(a) the solar PV equipment or solar thermal equipment must, so far as practicable, be sited so as to minimise its effect on the external appearance of the building and the amenity of the area; and

(b) the solar PV equipment or solar thermal equipment is removed as soon as reasonably practicable when no longer needed.

Class J(c) development is permitted subject to the condition that before beginning the development the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to the design or external appearance of the development, in particular the impact of glare on occupiers of neighbouring land, and the following sub-paragraphs apply in relation to that application.

Consultations

Ward Councillors – 1 comment received:-

'I have no concerns with the above planning application, I would support this application for approval.'

Representations

A site notice was posted adjacent to the site. No comments have been received as a result.

Assessment

The proposed solar PV installation does not exceed any of the thresholds set out in Class J(c) of Part 14 of Schedule 2 of the General Permitted Development Order as set out in the application proposal above. The proposed system will be on a shallow pitched roof so the visual impact and risk of glare will be very low. There is a small Gypsy/Travellers site set approx. 60m to the north west of the building, however given the angle of the building and the low pitch of the roof, the panels should not cause any significant impact in terms of glare to the occupiers of this adjacent land. In terms of the other surrounding buildings, Milefield Primary school is set approximately 100m to the north east of the site and is separated by Park Spring Road and a screening belt of trees. To the south is mainly industrial units set approx. 250m away therefore there should be very limited impact to these premises.

Recommendation

Prior Approval – granted subject to the standard conditions