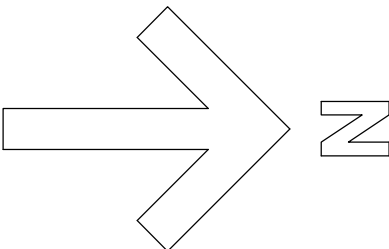


Notes

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Contractors shall verify and be responsible for all dimensions and conditions and shall report any discrepancies to the issuing office before proceeding with any work. Drawings shall not be scaled.



Enabling Building Works

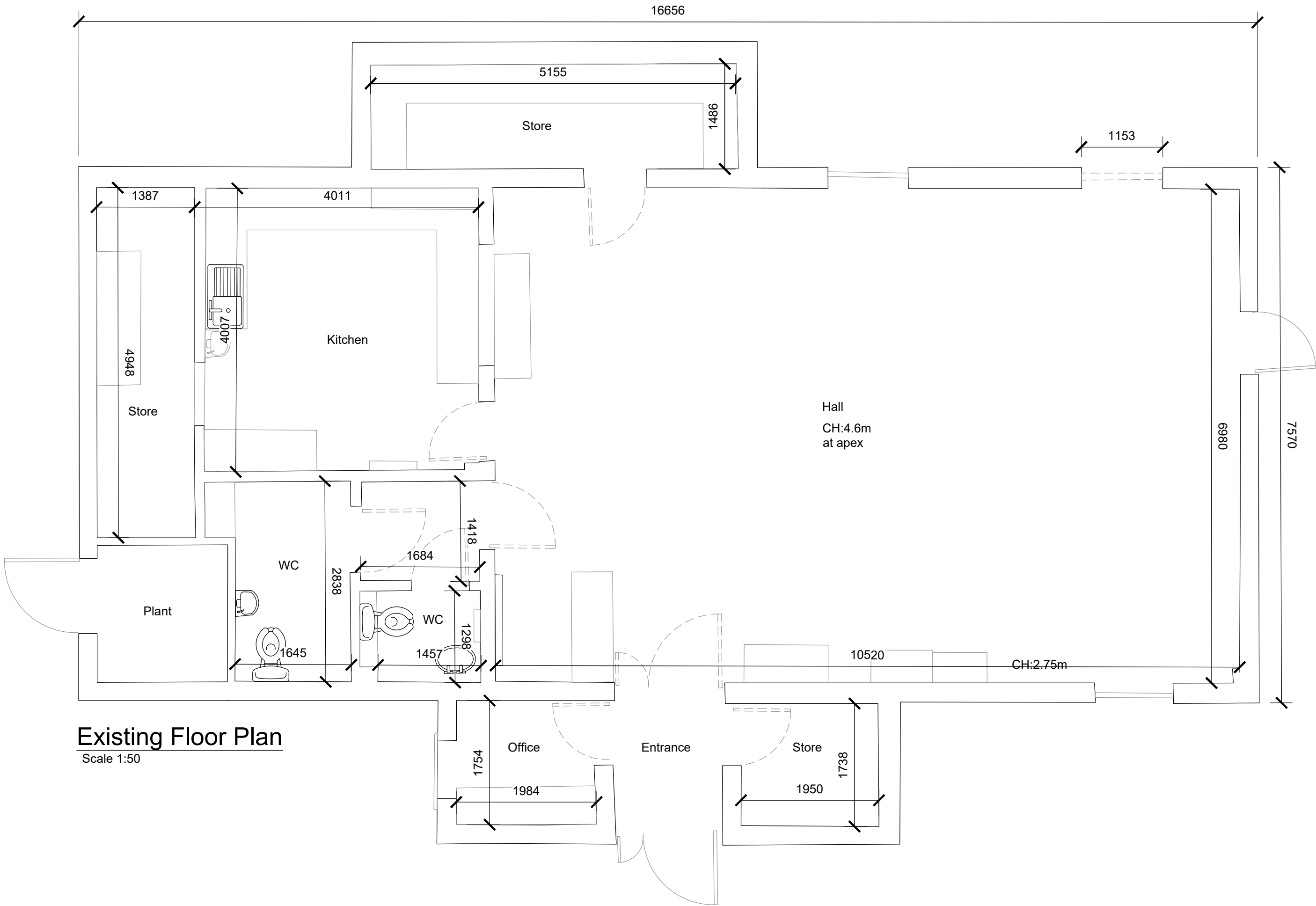
1. Remove all existing furniture, fixtures and fittings from existing office and store room. Set aside for re-use.
2. Carefully create new door opening in external masonry wall to the south facing gable wall including for temporary support / lintel.
3. Remove full metal roof covering (190m² approx.) and dispose off site. Refer to contractors design portion.
4. Remove all timber fascia and soffit boards (30m) and dispose off site.
5. Temporarily remove all UPVC rainwater goods including gutters and downpipes and set aside for re-use.
5. Remove external timber cladding (20m²) to east and west facing gable elevations and dispose off site.
6. Remove metal cage and mechanical plant (ASHP) and dispose off site.
7. Remove external metal louvred plant room door and dispose off site.
8. Remove metal spear to boundary fence 115m and dispose off site.
9. Remove all flooring coverings throughout including vinyl, carpet and barrier matting (130m²) and any residual adhesive and dispose off site.
10. Remove all internal timber doors (8no) and dispose off site.
11. Prepare all plaster walls and ceilings as required including filling and sanding any holes / cracks ready for new paint decoration.

Key:

- - - - Denotes items to be removed or set aside

Existing Floor Plan

Scale 1:50



Proposed Building Works

(Refer to BC2206 02-APP-XX-XX-DR-B-000020 for external works)

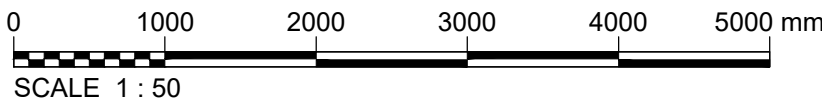
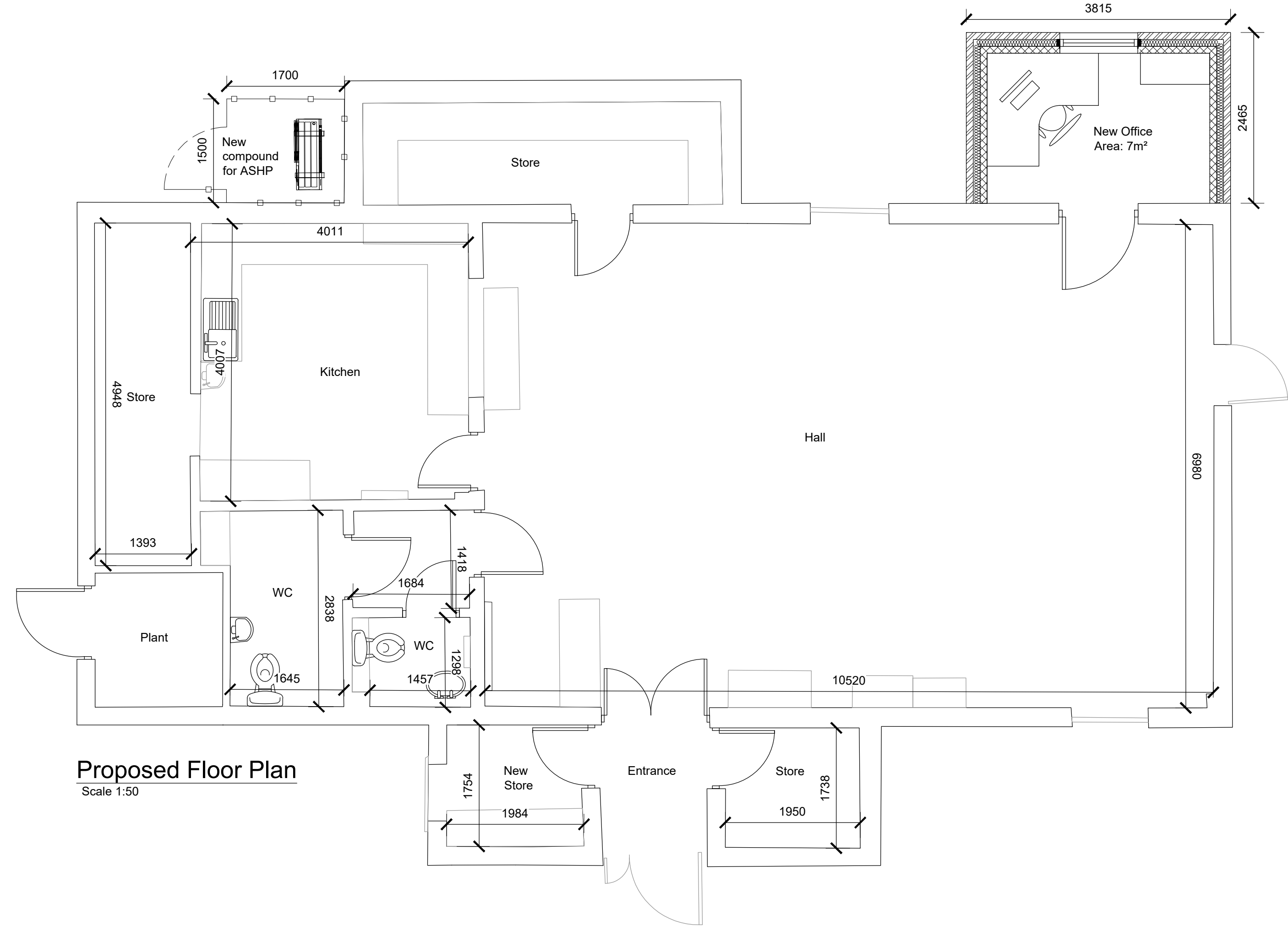
1. Excavate external ground to a depth that is required for new foundations and ground bearing floor slab as per drawing: BC2206 02-APP-XX-XX-DR-B-000320. Include for diverting 1no underground surface water drain to avoid the proposed extension / foundations, refer to drawing: BC2206 02-APP-XX-XX-DR-B-000140 . Include for all connections and new manholes as required (**CONTRACTORS DESIGN PORTION**).
2. Construct external cavity walls comprising 100mm blockwork inner leaf, 90mm 'Kingspan Kooltherm K106' or equal and approved insulation board, 10mm residual cavity and 100mm brickwork outer leaf to match existing. Include 12.5mm plasterboard and 3mm plaster skim to the internal face. Total U'Value to achieve 0.26W/(m².K) (min).
3. Provide and install 1no 1125 x 1500mm (h) double glazed UPVC window (white) with top hung opener to match existing size and type of window to the east facing elevation. Window to include trickle vents for background ventilation. Include for Birtley CB90HD or equal and approved lintel. Minimum U'Value of 1.6 W/(m².K).
4. Provide and install a new duo-pitched roof (cold roof). Roof to comprise 'Marley Anglia' or equal and concrete pantiles, 300mm half round ridge tiles, 38 x 25mm softwood tile battens / counter battens, 'Marley Universal Vapour Permeable' or equal and approved breather membrane, 'Marley' or equal and approved eaves ventilator. Install 300mm 'Rockwool Twinroof' or equal and approved insulation between and over joists to achieve a minimum U'value of 0.16 W/(m².K). Contractor to agree size and specification of roof truss with roof truss manufacturer and building control.
5. Provide and install new UPVC fascia and soffit boards to the full building perimeter including for dry verge details to gables ends (**CONTRACTORS DESIGN PORTION**).
6. Re-install previously set aside gutters and downpipes and provide and install new UPVC half round gutters (black) to the extension allowing for connecting into existing (2.5m approx.)
7. Provide and install new Western Redwood Cedar Cladding (20m² approx.) to the east and west gables painted red to match existing.
8. Provide and install new external aluminium louvred door (black) to plant room.
9. General brick repairs and repointing (10m²) to all elevations.
10. Replace 2no damaged gullys.
11. Provide and install new 12.5mm plasterboard and 3mm plaster skim coat (40m² approx.) to the internal walls and ceiling of the extension.
12. Provide and install new 'Heckmondwyke Supacord' or equal and approved carpet tiles (7.5m²) within the extension. Colours TBC. Refer to drawing C2206 02-APP-XX-XX-DR-M-000150.
13. Provide and install new pencil round MDF skirting board within the extension 18mm x 100mm. Refer to drawing C2206 02-APP-XX-XX-DR-M-000150.
14. Provide and install Altro 'Suprema' or equal and approved anti-slip vinyl flooring with coved skirtings in wet areas. (130m²) to all other areas. Timber skirtings to be re-used and decorated. Refer to drawing C2206 02-APP-XX-XX-DR-M-000150.
15. Provide and install 8no single wood veneer doors and 1no double wood veneer door. Fire safety fittings including intumescent strips and seals, door closers and vision panels to circulation doors. Refer to drawing BC2206 02-APP-XX-XX-DR-M-000710.
16. Apply new Dulux Trade or equal and approved emulsion paint (eggshell to wet areas) decoration to all walls and ceilings. To include 1 x mist coat, 1 x base coat and 2 x finishing coats. (260m²). Include for new paint decoration to all woodwork. Refer to drawing C2206 02-APP-XX-XX-DR-M-000150.

CONTRACTOR DESIGN PORTIONS

1. Remove the existing pantile effect metal sheet roof including breather membranes and insulation. Inspect the condition of the existing roof timbers. Replace full roof with a red concrete pantiles including for tiling battens, ridge tiles, breather membranes, ventilation, verge details, insulation and valley gutters / linings. New roof must achieve a minimum U'value 0.18W/(m².K).
- Contractor to allow for structural survey as required to ensure the existing roof structure can support the new concrete pantile covering.
2. Divert / make alterations to the underground surface water drain / sewer in the location of the extension. Refer to drawing: BC2206 02-XX-XX-DR-B-000140.

Proposed Floor Plan

Scale 1:50



P2	Planning	NRL 07.09.23	B.J.L 07.09.23	NRL 07.09.23
Ver.	Details	Author & Date	Checked & Date	Approved & Date
<div><div><div><div><div><div></div><div>PROPERTY PARTNERS</div></div></div><div><div><div><div><div><div>White Rose House (2nd Floor), Northallerton Business Park, Thurston Road, Northallerton, DL6 2NA Tel: 01609 797373</div></div></div><div>Client</div><div>Barnsley Metropolitan Borough Council</div></div><div><div><div>Project name</div><div>New Lodge Community Centre Extension and Refurbishment Works</div></div><div><div><div>Drawing Title</div><div>Existing and Proposed Plans</div></div></div></div></div></div></div></div></div>				
Purpose Planning				
Scale	Drawn	Checked	Approved	
1:50	NRL	B.J.L	SAS	
Original Size	Date	Date	Date	
A1	07.09.23	07.09.23	07.09.23	
Drawing Number	Version			
BC2206 02-APP-XX-XX-DR-B-000120	P2			