

December 2019

Land at St Michael's Avenue, Monk Bretton, Barnsley

Planning, Affordable Housing and Community Engagement Statement to support a Full Planning Application for the erection of 35 dwellings

Housing Growth Team
Housing and Energy Service
Regeneration and Culture
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Contents

Section		Page Number
1.0	Introduction	1
2.0	The Applicant	2
3.0	Site description	2
4.0	Wider Context	3
5.0	Planning History	4
6.0	Pre-Application Consultation	4
7.0	Community Engagement Statement	7
8.0	Response to Feedback	9
9.0	Conclusion to Community Engagement Statement	14
10.0	Development Proposals	14
11.0	Planning Policy Context	18
12.0	Assessment of Proposals	22
13.0	Conclusion	25

1.0 Introduction

- 1.1 This Planning Statement has been prepared on behalf of Barnsley Council's Housing Growth Team to support a full planning application for 35 dwellings including associated infrastructure and landscaping (and temporary construction access point) on land off St Michael's Avenue, Monk Bretton, Barnsley.

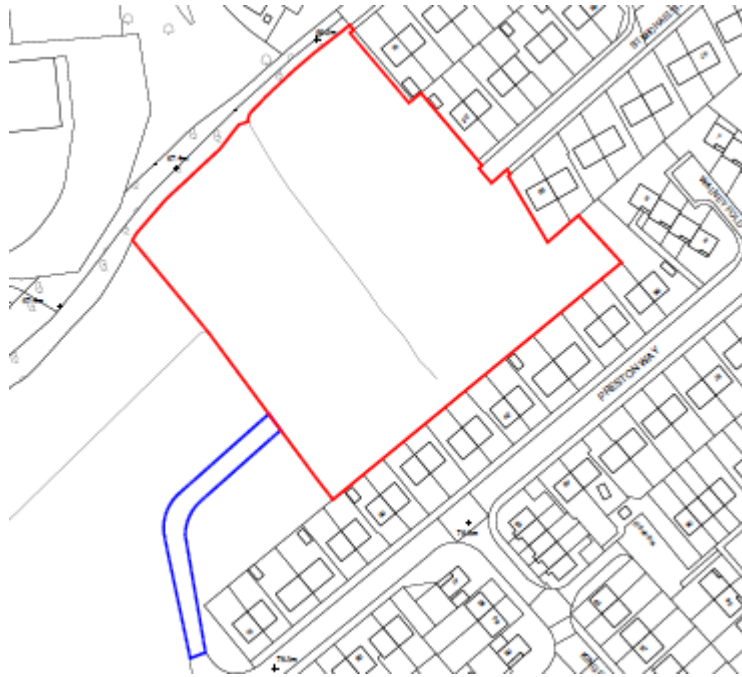


Figure 1: Site Location Plan

- 1.2 This Statement provides background information regarding the site and planning application history, as well as details of the proposed development.
- 1.3 Having regard to Section 38(6) of the Planning and Compulsory Purchase Act 2004, this Statement considers how the development proposal accords with the National Planning Policy Framework 2019 (the Framework), local planning policies and guidance.
- 1.4 The application site is allocated as 'Land allocated for new housing' in the Local Plan which was adopted in 2019. The Local Plan policy considers this site to be capable of delivering 38 dwellings. Housing development on this site will make an important contribution to the supply of market and affordable housing to meet the needs of the Borough.
- 1.5 In order to support the planning application, the following technical documents are submitted alongside this Statement:
- Planning drawings
 - Design and Access Statement
 - Statement of Community Involvement
 - Ecology Survey
 - Tree Survey
 - Flood Risk Assessment / Drainage Strategy

- Site Investigation
- Utility Survey
- Phase I and II Archaeological Report
- Landscape Design
- Tracking and Visibility Splay Design
- Noise Assessment

2.0 The Applicant

2.1 Barnsley Council's Housing Growth Team is committed to direct delivery of market and affordable homes in order to accelerate the delivery of new homes across the Borough. The Team has recently completed a mixed tenure scheme comprising 28 market properties and 4 affordable homes. The team has aspirations to scale up existing operations on Council owned land across the Borough and deliver high quality new homes to meet a range of housing needs.

3.0 Site Description

3.1 The site is located within Urban Barnsley, approximately 3km north-east of Barnsley town centre and currently comprises undeveloped land extending to 1.19 hectares.

3.2 The site has been allocated in Barnsley's recently adopted Local Plan and as such forms an important part of the supply of housing to meet the needs of the Borough.

3.3 Figure 2 below confirms the site location in relation to the surrounding context.



Figure 2: The Surrounding Context of the Site

3.4 The site is bound by existing residential properties to the north-east. These are a mix of semi-detached houses and bungalows fronting St Michael's Avenue and Poulton Street. Further residential properties are located to the south-east, these are two-storey semi-detached properties with rear gardens neighbouring the site. To the west of the site are enclosed fields which are subject to grazing tenancies. This land is designated as Greenspace in the Local Plan. To the north is a public right of way which links Poulton Street and Preston Way. The path is lined by mature trees and is designated as Greenspace in the Local Plan. Beyond the public right of way is Carlton Industrial Estate which comprises large commercial units, service yards and car parking.

3.5 Although there is some vegetation within the site, there are no Tree Preservation Orders preventing the clearance of the site.

3.6 There is currently a gated access from St Michael's Avenue. It is proposed that this is opened up to allow vehicular access into the site.

3.7 The site is located in Flood Zone 1 as confirmed by the Environment Agency's flood map. The site is therefore considered appropriate for residential development in flood risk terms.

3.8 A hedgerow which runs from north to south in the centre of the site is considered 'historically important' given that it forms part of a field system pre-dating the Enclosures Act. However, the hedgerow has limited biodiversity value and its loss could be mitigated elsewhere within the site. The hedgerow comprises a mix of Hawthorn, Ash, Apple and Field Maple species all of which have low amenity value. On balance, it is considered that the removal of the hedgerow is justified in order to enable the delivery of 35 high quality homes.

4.0 Wider Context

4.1 Table 1 provides a list of local services and facilities which are accessible from the site on the foot, on bicycle and private vehicle.

Services and facilities	Location
Local shops	Sainsbury's Local (500m), JET petrol station (520m), Denis Speed Butchers (890m), Co-op petrol station (1km)
Education	St Helens Primary School (250m), Carlton Primary School (1km), Springwell Community School (820m), Holy Trinity Academy (800m)
Healthcare	Monk Bretton Health Centre (890m), Monk Bretton Pharmacy (890m), Rotherham Road Medical Centre (1.3km), Lundwood Medical Practice (1.9km)
Post Office	Monk Bretton Post Office (890m)
Recreation facilities	Barnsley Bowl (880m), Redfern Sport and Social Club (960m), Monk Bretton Cricket Club (900m)
Places of worship	Monk Bretton Methodist Church (880m)

Table 1

4.2 There are a number of bus routes serving stops on Fish Dam Lane, approximately 320m north-east of the site. Bus services offer access to Barnsley Town Centre and Wakefield City Centre (via Royston).

5.0 Planning History

5.1 Barnsley Council's Planning Explorer website indicates that there are a number of historic planning applications relating to the wider residential development and erection of stables.

6.0 Pre-Application Consultation

6.1 Prior to the submission of this planning application, the applicant has sought pre-application advice from Development Management. The pre-application layout comprised 34-37 new dwellings which included the following mix (see Figure 3):

- 4 x 2 bed apartments
- 6 x 2 bed bungalows
- 10 x 2 bed houses
- 12 x 3 bed houses
- 2 x 4 bed houses

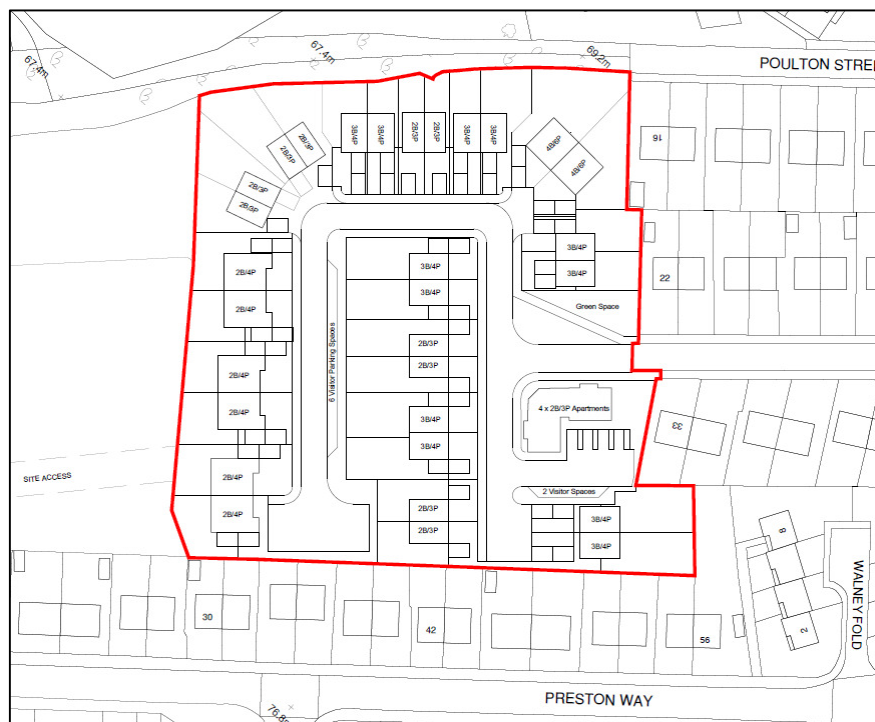


Figure 3: Pre-Application Indicative Layout

6.2 In summary, the following pre-application feedback was received:

- Apartment building at the site entrance provides a gateway feature into the site
- Site is allocated for residential development
- Careful consideration of boundary treatments is required in order to soften the appearance
- Landscape buffers need to be carefully considered, particularly where highway meeting landscape buffers
- Consider introducing noise mitigation measures to minimise impact from neighbouring industrial units

6.3 Biodiversity Officer:

- External data from South Yorkshire Bat Group and South Yorkshire Badger Group is not required
- The site is not located with a Nature Improvement Area
- Preliminary Ecological Assessment No 413 was produced for the site as part of the Local Plan process and indicates that the site appears to be of low ecological value
- The northern boundary comprises a wholly intact hedgerow and the southern boundary comprises a largely intact hedgerow. Furthermore, there are relict stretches of hedgerow running north-south through the site (90%) intact and down the eastern boundary (10% intact).
- The northern boundary is formed by an ancient footpath know as Old Lamb Lane which has mature hedgerows along both sides. The whole of this valuable wildlife corridor must remain intact and the applicant should offer, by way of mitigation, to manage the hedge vegetation at the site boundary to benefit wildlife. Ideally the hedge should be incorporated into a retained strip of land with grassland as a community asset. Some sections of hedgerows along the lane have been laid in the past, reflecting their importance and value. This could be done by the applicants as a biodiversity enhancement if they have the permission of the landowner to do so.
- Any section of hedgerow to be removed should be supported by an assessment of their importance against the Hedgerow Regulations 1997, including spring flowers and heritage aspects.
- Whilst on site many 10's of starlings roosting in the scattered Hawthorn bushes were observed. Mitigation for this species/loss of habitat should be provided.
- Mitigation for biodiversity losses should be recommended in sufficient detail so that they may be conditioned.
- Any landscape plan should clearly identify proposals that contribute towards biodiversity.
- A maintenance guarantee of at least 5 years for biodiversity measures needs to be shown.

6.4 Public right of way:

- The path to the north of the site is a public footpath. Appropriate fencing should be installed to separate the site from the path during construction.

6.5 Pollution Control:

- Not aware of any previous potentially contaminative uses of this site that will require an application to provide supporting information regarding contaminated land issue.

6.6 Highways (comments relate to later 35 unit layout):

- Turning heads need to be increased/longer and tracking with a refuse vehicle
- Suggest reducing the size of the plots north of the access from St Michael's Avenue and make the short spur and footpath link to Poulton Street wider. This may also permit a turning area to be provided here. Need to allow enough carriageway width for two cars to pass around the bend here too.
- In general terms the parking numbers look reasonable. There is no current requirement for visitor parking for C3 dwellings. It should however be noted that the greatest potential for visitor parking would be to the 2 bed plots along the northern site boundary. Given the bend and minor junction, suggest either a slight reshuffle of plots to remove this possible demand from a 'busy' area of the site, or, add in some visitor parking to reduce the risk of parked vehicles obstructing footways or creating visibility issues.

6.7 Drainage:

- The Council have no records of any culverted or open watercourses crossing the site.
- Not aware of any flooding issues associated with the site, and is not affected by any flood plains from major watercourses in the area.
- There should be no increase in surface water runoff from new developments.
- The developer should contact Yorkshire Water to secure discharge into nearby surface and foul water sewers.

6.8 Yorkshire Water:

- Expect a robust surface water management plan.

6.9 Education:

- A development comprising 37 dwellings would create 8 primary and 6 secondary pupils and require a contribution of £194,652

6.10 Planning Policy:

- Local Plan policy HS22 requires appropriate acoustic treatment to mitigate against noise from the industrial estate.
- Any proposals must be accompanied by an appropriate archaeological assessment.

- 15% of the gross site area must be open space however the site affords little opportunity to accommodate greenspace of sufficient size to address local deficiencies. In this instance it is appropriate to seek an off-site contribution in its entirety in line with SPD standards.
- No issue with a temporary haul road to enable construction, however this greenspace must be reinstated.
- It is essential that any development maintains the integrity of the footpath to the north of the site as it provides an important link to adjacent areas including existing greenspace.

7.0 Community Engagement Statement

7.1 The purpose of this section is to outline the consultation process that has informed the preparation of this application. It is considered that consultation techniques used by the applicant are in accordance with policy and guidance, and that on the whole, the development proposals have positively responded to the feedback received.

7.2 Paragraph 39 of the National Planning Policy Framework (the Framework) states that:

'early engagement has significant potential to improve the efficiency and effectiveness of the planning system for all parties. Good quality pre-application discussion enables better coordination between public and private resources and improved outcomes for the community'.

7.3 Prior to the submission of this planning application, Barnsley Council's Housing Growth Team has undertaken public consultation to gain the views of local residents on the development proposals.

7.4 A letter drop exercise was undertaken on the 30th May 2019 to inform the local community and interested parties of the development proposals and invite them to a public exhibition event on the 6th June 2019. A copy of the letter can be found at Appendix 1.

Site notices were also erected to inform the wider community and users of the public footpath.



Figure 4: Example Site Notice

7.5 The draft indicative layout plan showed 37 new homes:

- 4 x 2 bed apartments
- 6 x 2 bed bungalows
- 14 x 2 bed semi-detached houses
- 11 x 3 bed semi-detached houses
- 2 x 4 bed semi-detached houses



Figure 5: Public Exhibition Draft Layout

7.6 The public exhibition was attended by 25 residents as well as Ward Councillors. The exhibition provided an important opportunity for local residents to comment on the draft proposal and helped to address concerns raised to inform the submission of this planning application.

7.7 The main comments included:

- a) Concerns regarding the loss of existing trees/hedges and biodiversity
- b) Proximity of new dwellings to existing properties, particularly along Preston Way, creating issues including; loss of privacy, overshadowing
- c) Access issues from St Michael's Avenue due to on-street parking, particularly for bin lorries and emergency service vehicles
- d) Informal footpath linking St Michael's Avenue to Poulton Street
- e) Disturbance to existing residents during construction
- f) Positive comments on the mixed tenure of properties
- g) Concerns regarding the future loss of Greenspace to the west of the application site
- h) Noise impact from Carlton Industrial Estate

8.0 Response to feedback

- a) Loss of existing trees/hedges and biodiversity

A Preliminary Ecological Appraisal has been prepared by Ecus Environmental Consultants in respect of the proposed development. The report acknowledges that the development would lead to the loss of; defunct hedgerow, dense scrub, scattered trees and semi-improved

grassland. The report recommends that to compensate for the loss of site habitats, the proposed development should incorporate areas of replacement vegetation containing native and/or wildlife friendly species. It is also recommended that measures are taken to safeguard the existing hedgerow to the north of the site to prevent incidental damage. The Council's Biodiversity Officer has recommended (via pre-application feedback) that landowner consent is sought to re-lay this hedgerow. In addition, close boarded rear fences to the new residential properties along this boundary will protect the hedgerow from future encroachment.

The report sets out that consideration should be given to installing three bat boxes on southerly facing aspects of new homes. In addition, three nest boxes should be incorporated into the development.

During the construction phase the site will be systematically stripped in order to encourage any wildlife into adjacent habitat. A qualified Ecologist will be undertaking a watching brief where necessary.

The creation of new garden habitats will help to compensate the loss of habitat to the grassland currently on site. To allow for the dispersal of hedgehogs and other small mammals between gardens, small gaps beneath or between garden fences will be incorporated, notably where close boarding fencing is to be used.

A soft landscaping plan has been prepared in support of the planning application. This demonstrates the use of mixed variety of native species, with a landscape buffer along the western boundary.

b) Proximity to existing residential properties

The proposed development has been designed to comply with the separation distances set out in the External spacing standards of the Design of Housing Development SPD and South Yorkshire Residential Design Guide.

The revised design has moved properties away from the southern boundary in order to maximise separation distances to properties fronting Preston Way. In addition, the property types have been changed to swap a 2.5 storey 4 bed semi-detached property for a 2 bed bungalow along this boundary. This will reduce the massing of built form along this boundary. In addition, it should be noted that the properties nearest existing residential properties have no windows to habitable rooms in the side elevations, therefore minimising the potential for overlooking.



Figure 6: Draft Layout



Figure 7: Proposed Layout

The draft indicative layout proposed 3x3 bed properties to the west of 22 St Michael's Avenue. The occupiers raised concerns about the proposed layout and impact upon their privacy. The proposed layout has been amended and the properties have been reoriented to minimise the impact upon number 22 St Michaels Avenue (see figures 8 and 9 below).

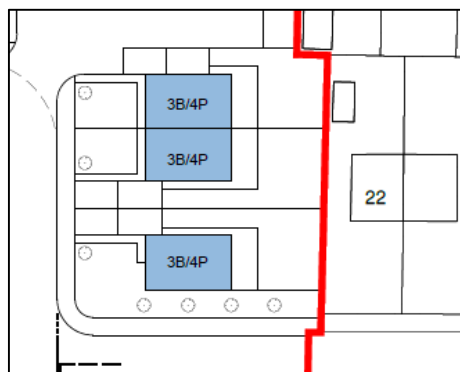


Figure 8: Draft Layout

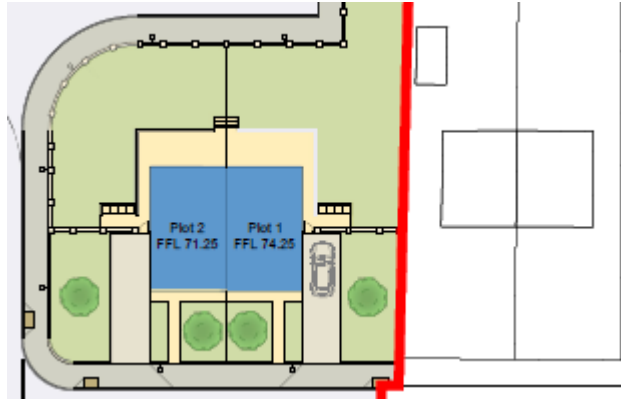


Figure 9: Proposed Layout

- c) Access issues from St Michael's Avenue due to on-street parking, particularly for bin lorries and emergency service vehicles

It is acknowledged that residents and visitors currently park on both sides of St Michael's Avenue. The Council's Highways Team advised that there should be no material increase in risk for refuse and emergency vehicles accessing the development via St Michael's Avenue. There should be an improvement in the current situation as refuse vehicles will be able to use the turning heads within the development, which will limit any unnecessary reversing along St Michael's Avenue.



Figure 10: On-street parking, St Michael's Avenue

- d) Informal footpath linking St Michael's Avenue to Poulton Street

A number of residents highlighted that there is currently an informal footpath link between St Michael's Avenue and Poulton Street. This provides residents with a link to the footpath to the north of the site and wider greenspace network. Whilst this link is not a formal public right of way, the site layout has been amended to allow access from through the development site alongside number 16 Poulton Street. This will ensure that existing and new residents retain direct access to the public footpath to the north of the site and easy access to the wider Greenspace network. It is considered that this will encourage residents to travel on foot and reduce reliance upon private vehicles.



Figure 2: Informal Footpath Link (from Poulton Street)

e) Disturbance to existing residents during construction

A number of residents raised concerns regarding the noise and disturbance during the construction phase. Any consented scheme will be subject to a condition which restricts the working days/hours in order to protect the amenity of existing residents. The build contractor and the site will be registered with the Considerate Constructors Scheme. Surrounding residents will be invited to a pre-start 'Meet the Contractor' event and thereafter provided with a point of contact for the site manager and also the Council's Project Manager for the scheme.

f) Positive comments on the mixed tenure of properties

A number of local residents expressed support for the mixed tenure nature of the proposed scheme. The consultation layout included:

- 20 x affordable rent properties
 - 11 x market sale properties
 - 6 x market rent properties
- Total = 37 units

The proposed layout comprises the following tenure mix:

- 16 x affordable rent properties
 - 13 x market sale properties
 - 6 x market rent properties
- Total = 35 units

g) Concerns regarding the future loss of Greenspace to the west of the application site

The application site has been allocated for residential development (HS22) in Barnsley's Local Plan (adopted 2019). The land to the north and west of the site remains allocated as Greenspace which provides a buffer around Carlton Industrial Estate. The land is owned by Barnsley Council, however, given the current policy status the Council is not seeking to secure planning permission on this piece of land at this time. In addition, the land is currently subject to a grazing tenancy.

h) Noise impact from Carlton Industrial Estate

An Environmental Noise Impact Assessment has been prepared by Acoustic Design Technology (ADT). The report determined the existing ambient noise levels in the vicinity and assesses the impact of noise generated by industrial operations and incidental noise from Carlton Industrial Estate. The report concludes that when context is taken into account, including the low absolute noise levels, the established residential character of the surrounding area and the opportunity to provide sound insulation measures, the residual impact should be lower, and the site should be suitable for residential development.

9.0 Conclusion to Community Engagement Statement

9.1 This Community Engagement Statement demonstrates that there has been positive and proactive discussion with both Development Management and members of the local community.

9.2 The applicant has carefully considered the responses that were provided by interested parties at the public exhibition and has made changes to the proposals hereby submitted. It was highlighted to residents that they would be able to provide comments on the revised scheme during the determination of the planning application.

9.3 The measures undertaken by the applicant demonstrates the applicant's commitment to engaging with the local community prior to the submission of a planning application. A number of positive design amendments have been made to the scheme which demonstrates that the applicant has undertaken meaningful community consultation.

10.0 Development Proposals

10.1 The development proposals seek full planning permission for residential development of 35 dwellings with associated access, drainage and landscaping.

10.2 The accommodation schedule of development is summarised below:

Type	No. of bedrooms	No. of units	Percentage of scheme
Private Rent			
End terrace	3	4	17%
Mid terrace	2	2	
Sub-total		6	
Affordable Rent			
House	2	8	46%
Apartment	2	4	
Bungalow	2	2	
House	4	2	
Sub-total		16	

Market Sale			
End bungalow	2	4	37%
Mid bungalow	2	1	
Semi-detached house	3	4	
Semi-detached house	4	4	
Sub-total		13	
Combined Total		35	100%

Table 2: Schedule of Accommodation

10.3 The proposal includes a wide mix of property styles, types and tenures. This will assist in the delivery of a sustainable community which meets the housing needs of a wide range of people within the Borough. It is proposed to restrict the occupancy of the bungalows and apartments to persons of 55 years of age and over. As such, these properties would not be expected to make a financial contribution to Education.

10.4 Full details regarding the design evolution of the scheme are set out in the accompanying Design and Access Statement and summarised below.

Layout

10.5 Based on pre-application comments and feedback from local residents and interested parties, the development proposals have evolved as follows:

- Step properties away from the southern boundary to minimise the impact upon existing residents fronting Preston Way
- Re-orientate properties directly west of 22 St Michael's Avenue to minimise the impact upon the existing residents and create an active frontage upon arrival into the site
- Minimise front of plot parking and incorporate landscaping in order to soften the appearance of the streetscene
- Provide a footpath link onto Poulton Street to allow new and existing residents to access the public right of way that runs along the northern boundary of the site
- Increase separation distances between the new properties to minimise overlooking
- Enhance landscaping opportunities to maximise biodiversity opportunities
- Addressed Highways' recommendations by:
 - Increasing the length of the turning heads
 - Tracking for refuse and fire appliances
 - Widening the footpath link to Poulton Street and reducing the northern boundaries here, thus improving the turning area and making the bend safer
 - Introducing 4no. visitor parking spaces opposite the northern row of 2 bedroom properties and 3no. spaces to the western side of the development
- Incorporate recommendations relating to the retention of existing biodiversity features where possible
- Provide bat and nesting boxes into the fabric of the buildings

- Incorporate noise mitigation measures including a close boarded fence along the northern site boundary
- Intersperse property types in order to create visual interest in the streetscene

Amount, Scale and Affordable Housing

- 10.6 The development proposals comprise 35 dwellings, which is below the Local Plan allocation figure of 38 dwellings.
- 10.7 Policy H6 of the Local Plan sets out that housing proposals will be expected to include a broad mix of house size, type and tenure to help create mixed and balanced communities. The proposed scheme includes a multitude of different property types which will meet market, private rental and affordable housing needs.
- 10.8 The development equates to a density of 29 units per hectare which aligns which is below the expectation of policy H6 of the Local Plan. Policy H6 expects residential sites in Urban Barnsley and Principle Towns to deliver 40 dwellings per hectare however, the policy allows for lower densities where it can be demonstrated that they are necessary for character and appearance, need, viability or sustainable design reasons.
- 10.9 The Strategic Housing Market Assessment (SHMA 2014) sets out the general housing market needs for the North Barnsley and Royston Sub-Market Area. Table ES2 of the SHMA confirms that demand is greater than supply for all property sizes 1-5+ bedrooms of all types (except semi-detached houses).
- 10.10 Table 6.17 of the SHMA sets out the annual affordable housing shortfalls by sub-area from 2014/15 to 2018/19. The net annual affordable shortfall for North Barnsley and Royston is:
- 111 general needs 1 / 2 bed
 - -67 general needs 3 bed
 - 9 older person 1 / 2 bed
- 10.11 The tenure mix of the scheme is set out in Table 2 above. The proposed development seeks to deliver a split of tenures including:
- 17% private rent
 - 46% affordable rent
 - 37% private sale
- 10.12 The proposed development seeks to maximise the net developable area of the site whilst delivering a broad range of high quality homes to meet local needs. This includes the delivery of large 4 x 4 bed family homes, 7 x 2 bed bungalows, 4 x 2 bed apartments in addition to more traditional 2 and 3 bed houses.
- 10.14 In addition, pre-application feedback has requested the retention and/or mitigation of biodiversity losses on site. This has resulted in a landscaping buffer being retained along the western boundary where the site adjoins an area of designated Greenspace. The proposed development seeks to deliver appropriate levels of private amenity space, car parking in line

with the emerging Parking SPD (including visitor parking), as well as providing space within the curtilage of new dwellings for the secure storage of bicycles and bins to promote sustainable travel and waste management. The proposed layout also meets, and in some instances surpasses, the minimum separation distances set out in the Design of Housing Development SPD as well as the South Yorkshire Residential Design Guide in order to protect residential amenity.

- 10.15 Taking all of the above into account, it is considered that on balance, the range of property types being delivered, in conjunction with the on-site biodiversity enhancements and other design considerations, justify a departure from policy H6 as the benefits of the scheme clearly outweigh the marginal shortfall of three dwellings.

Appearance

- 10.16 The proposed development has been designed to be simple and contemporary in appearance as illustrated in the technical drawings that accompany this planning application.
- 10.17 The apartment block at the site entrance will create a gateway into the site. The apartments are a combination of brick and render with double height feature glazing to the main entrance.
- 10.18 A combination of property types will provide visual interest throughout the scheme with a combination of brick, stone and render providing visual relief.

Access

- 10.17 The development site already benefits from a gated vehicular access of St Michael's Avenue to the eastern boundary of the site. This provides access to the wider highway network.
- 10.18 The existing carriageway and footpaths will be extended into the development to link with the internal road network. The existing informal footpath link along the eastern boundary which links St Michaels Avenue and Poulton Street will be incorporated into the design of the scheme to retain this pedestrian link to the wider footpath network.
- 10.19 The proposed site plan provides on-plot parking in accordance with the adopted Parking SPD. In addition, a number of unallocated parking spaces are located in two areas of the site, to minimise visitors parking on-street.

Landscaping

- 10.20 The proposed scheme incorporates native tree planting throughout the development, particularly in front gardens to break up on-plot parking. A range of planting is proposed to soften the appearance of the development and provide opportunities for biodiversity.
- 10.21 The hedgerow located alongside the public right of way to the northern boundary is outside the site ownership. As such, it is proposed to be retained in its entirety and will benefit from protection during the construction phase. Close boarded rear fencing will provide a distinct

boundary for residential gardens and minimise opportunities for residents to prune the hedgerow in the future.

11.0 Planning Policy Context

11.1 The updated National Planning Policy Framework (2019) sets out Central Government's aims and objectives for the planning system. The Framework is an important material consideration that should be considered alongside the development plan.

11.2 At the heart of the Framework, is the presumption in favour of sustainable development (paragraph 8). It is considered that the proposal accords with the three dimensions of achieving sustainable development set out at paragraphs 8 and 10 of the Framework:

- a) **An economic objective** – *to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;*
- b) **A social objective** – *to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and*
- c) **An environmental objective** – *to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.*

11.3 These three principles of sustainable development will be key considerations in the delivery of new homes, particularly in respect of meeting current and future housing needs. In addition, the construction phase of development will provide opportunities for job creation whilst longer term the development will help to support the vitality of existing local shops and services.

11.4 The development of the site will provide biodiversity enhancements through the incorporation of mitigation measures as recommended in the Preliminary Ecological Assessment.

11.5 Paragraph 59 of the Framework sets out the Government's key housing objective of 'significantly boosting the supply of homes'.

11.6 Paragraph 102 of the Framework states that 'Transport issues should be considered from the earliest stages of plan-making and development proposals' and paragraph 103 sets out that development should 'be focussed on locations which are...sustainable, through limiting the need to travel and offering genuine choice of transport modes'.

11.7 In the context of decision-making, paragraph 108 seeks to ensure that sustainable travel opportunities are promoted through development; safe and suitable access can be achieved

for all users, and any significant impacts on the transport network or on highway safety can be cost effectively mitigated.

- 11.8 Paragraph 109 goes on to state that *‘development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe’*.
- 11.9 Chapter 12 of the Framework highlights the importance of providing a wide range of high quality, well designed homes and supporting sustainable, mixed communities.
- 11.10 The accompanying Design and Access Statement prepared by NPS demonstrates how the development proposals have been designed to accord with national and local planning policy.
- 11.11 Section 12 of the Framework highlights the importance of effective engagement between applicants, communities, local planning authorities and other interested parties throughout the process in order to reconcile interests. Paragraph 39 establishes that good quality pre-application discussion has the potential to significantly improve the effectiveness of the planning system for all parties. As such, the applicant has sought views from local residents and Development Management in advance of the planning application. Further information regarding these discussions can be found in sections 6 and 7 of this Statement.
- 11.12. Paragraph 124 sets out that *‘the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities’*.
- 11.13 Paragraph 127 of the Framework sets out that planning policies and decisions should ensure that developments:
- a) *Will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
 - b) *Are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
 - c) *Are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*
 - d) *Establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;*
 - e) *Optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*
 - f) *Create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.’*

- 11.14 The accompanying Design and Access Statement produced by NPS sets out how the development proposals have been designed to accord with paragraph 127 with the aim of meeting the Framework's objectives in terms of good design.
- 11.15 Paragraph 163 of the Framework states that when determining planning applications, Local Planning Authorities should ensure that flood risk is not increased elsewhere. The accompanying Flood Risk Assessment (FRA) confirms that the site is located in Flood Zone 1 and is at low risk of flooding from other forms. The submitted Drainage Strategy sets out recommendations to ensure that the development proposals do not increase flood risk elsewhere.

Barnsley Council Local Plan

- 11.16 The development plan comprises the Barnsley Local Plan (January 2019). The Local Plan allocates the application for residential development (HS22):

Site HS22 Land at St Michaels Avenue Indicative number of dwellings 38

The development will be expected to provide appropriate acoustic treatment to mitigate against noise from the industrial estate.

Archaeological remains are known/expected to be present on this site therefore proposals must be accompanied by an appropriate archaeological assessment (including a field evaluation if necessary) that must include the following:

- *Information identifying the likely location and extent of the remains, and the nature of the remains;*
 - *An assessment of the significance of the remains; and*
 - *Consideration of how the remains would be affected by the proposed development.*
- 11.17 Policy HE6 provides further clarity on the requirements for an appropriate archaeological assessment.

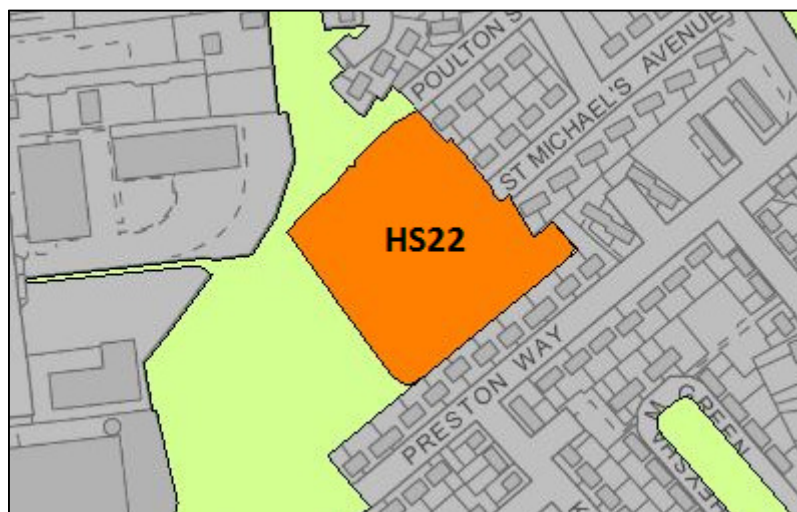


Figure 3: Local Plan Map Extract

- 11.18 Policy H1 makes provision for completion of at least 21,546 net additional homes during the period 2014 to 2033. This equates to a minimum of 1,134 dwellings per annum during the period.
- 11.19 Policy H2 directs the 43% of housing growth towards Urban Barnsley (9,070 new homes including sites with planning permission). The location of growth accords with the settlement hierarchy and it is anticipated that sites within Urban Barnsley and Principles Towns can deliver 40 dwellings per hectare.
- 11.20 Policy H7 sets out a minimum requirement of 10% affordable homes on sites which comprise 15 dwellings or more.
- 11.21 Policy D1 sets out design principles for new development; *'Development is expected to be of high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley...through its layout and design development should:*
- *Contribute to place making and be of high quality, that contributes to a healthy, safe and sustainable environment;*
 - *Help to transform the character of physical environments that have become run down and are lacking in distinctiveness;*
 - *Provide an accessible and inclusive environment for the users of individual buildings and surrounding spaces;*
 - *Provide clear and obvious connections to the surrounding street and pedestrian network;*
 - *Ensure ease of movement and legibility for all users, ensure overlooking of streets, spaces and pedestrian routes through the arrangement and orientation of buildings and the location of entrances;*
 - *Promote safe, secure environments and access routes with priority for pedestrians and cyclists;*
 - *Create clear distinctions between public and private spaces;*
 - *Display architectural quality and express proposed uses through its composition, scale, form, proportions and arrangement of materials, colours and details;*
 - *Make the best use of high quality materials;*
 - *Include a comprehensive and high quality scheme for hard and soft landscaping; and*
 - *Provide high quality public realm.'*
- 11.22 Policy GS1 confirms that qualifying new developments will be required to make a contribution towards green space. Further information on the delivery of new green space is set out in the Open Space Provision on New Housing Developments SPD (2019).
- 11.23 Policy BIO1 sets out the requirements in respect of conserving and enhancing biodiversity and geological features. This includes protection and improvement of habitats and species, as well as maximising biodiversity and geodiversity opportunities in and around new developments.

- 11.24 Barnsley Council has recently declared a climate emergency (September 2019). Local Plan policy CC1, along with supporting text, set out how the Council will seek to reduce the causes or and adapt to the future impacts of climate change. This includes:
- Promotion of sustainable design and construction techniques
 - Promoting the use of Sustainable Urban Drainage (SuDS)
 - Promoting and supporting the delivery of renewable and low carbon energy; and
 - Promoting investment in Green Infrastructure to promote and encourage biodiversity gain
- 11.25 Policy CCS confirms that *‘development will be expected to minimise resource and energy consumption through the inclusion of sustainable design and construction features, where this is technically feasible and viable.’* For housing development energy efficiency is regulated by Building Regulations.
- 11.26 Policy CC3 relates to flood risk and expects developments on greenfield sites to maintain or reduce existing run-off rates requiring development proposals to use Sustainable Drainage Systems (SuDS) in accordance with policy CC4.
- 11.27 Policy I1 confirms that new development must be supported by appropriate physical, social, economic and communications infrastructure, including provision for broadband. Where the necessary provision is not made directly by the developer, contributions will be secured through planning obligations.
- 11.28 Following the adoption of the Local Plan, the Council has adopted a number of Supplementary Planning Documents (SPD’s) that are relevant to the development proposals:
- Financial contributions for schools
 - Trees and hedgerows
 - Residential amenity and siting of buildings
 - Design of housing development
 - Open space provision on new housing developments
 - Affordable housing
 - Parking
 - Sustainable Travel
 - Planning Obligations

12.0 Assessment of Proposals

This section will consider the main matters relating to the assessment of the planning application.

Principle of Development

- 12.1 The site is allocated in the Local Plan (HS22) for residential development, with an indicative capacity of 37 units. The principle of residential development has therefore been accepted. Pre-application discussions indicate the Barnsley Council’s Development Management Team are supportive of a planning application for residential development which delivers a diverse range of new homes to meet local needs.

Design

- 12.2 Extensive pre-application discussions with the Council's Development Management Team and the local community has allowed for the design of the scheme to evolve which has resulted in a high-quality development proposal.
- 12.3 The development scheme comprises a total of 35 dwellings, 46% of which will be available for affordable rent. This is above and beyond the policy requirement of 10% affordable housing set out in policy H7 of the Local Plan.
- 12.4 As previously mentioned; there are several positive design features of the scheme:
- Low-rise apartment block creating a gateway entrance into the site
 - Continuation of the streetscene from St Michaels Avenue
 - Integration of footpaths and retention of a pedestrian link with the public right of way off Poulton Street
 - Incorporation of frontage landscaping to soften the overall appearance of the development
 - A variety of property types in order to create visual interest and character
 - Use of high quality materials
 - Landscape buffer to the western boundary to soften the transition between Greenspace and the new development
 - Defined northern boundary to protect the existing hedgerow which runs alongside the public right of way
 - Adequate off street parking for individual properties to prevent a car dominated streetscene
 - Incorporation of semi-detached properties to reflect the local character
 - Bat and bird boxes designed into the fabric of the buildings to encourage biodiversity
 - A series of gaps between boundary fencing to allow hedgehogs and small mammals to move around the site
- 12.5 In terms of appearance, the proposed development has a contemporary design, which develops upon the character of existing development within the surrounding area, in order to create a distinctive scheme with a strong sense of place.
- 12.6 A refined, high-quality palette of materials will be applied throughout the site, with brickwork/render and stone used in simple ways to provide visual relief.
- 12.7 In respect of landscaping, the proposed development incorporates a range of native planting, particularly to the western boundary and in front gardens.

Highways Impact

- 12.8 The development site already benefits from vehicular access to the east off St Michaels Avenue. It is proposed that the existing carriageway and footways will be extended into the site.

- 12.9 Vehicle tracking has been completed by JNP and NPS and demonstrates that the internal road layout is designed appropriately to accommodate the number of users.
- 12.10 Overall it is considered that the proposed development meets the requirements set out in the Framework and Local Plan.

Ecology

- 12.11 A Preliminary Ecological Appraisal has been prepared by Ecus Environmental Consultants in respect of the proposed development. The report acknowledges that the development would lead to the loss of; defunct hedgerow, dense scrub, scattered trees and semi-improved grassland. The report recommends that to compensate for the loss of site habitats, the proposed development should incorporate areas of replacement vegetation containing native and/or wildlife friendly species.
- 12.12 It is also recommended that measures are taken to safeguard the existing hedgerow to the north of the site to prevent incidental damage. The Council's Biodiversity Officer has recommended (via pre-application feedback) that landowner consent is sought to re-lay this hedgerow. In addition, close boarded rear fences to the new residential properties along this boundary will protect the hedgerow from future encroachment.
- 12.13 The report sets out that consideration should be given to installing three bat boxes on southerly facing aspects of new homes. In addition, three nest boxes should be incorporated into the development.
- 12.14 During the construction phase the site will be systematically stripped in order to encourage any wildlife into adjacent habitat. A qualified Ecologist will be undertaking a watching brief where necessary.
- 12.15 The creation of new garden habitats will help to compensate the loss of habitat to the grassland currently on site. To allow for the dispersal of hedgehogs and other small mammals between gardens, small gaps beneath or between garden fences will be incorporated, notably where close boarding fencing is to be used.
- 12.16 A soft landscaping plan has been prepared in support of the planning application. This demonstrates the use of mixed variety of native species, with a landscape buffer along the western boundary.

Tree Survey

- 12.17 A Tree Survey has been prepared by AWA Tree Consultants in respect of the application site. The Tree Survey identified 25 items of woody vegetation, comprising of 22 individual trees and 3 groups of trees or shrub/hedge groups. Of the surveyed trees, all 25 are retention category 'C' (trees which could be retained but are low or average quality and value, and are in adequate condition to remain until new tree planting could be established).
- 12.18 The proposed development will incorporate existing species where possible however the loss of species will be mitigated through the enhanced planting scheme shown on the accompanying landscape plan.

Flood Risk and Drainage Strategy

- 12.19 The site is located in flood zone 1 and the accompanying Flood Risk Assessment confirms that the site is suitable for residential development.
- 12.20 The accompanying Drainage Strategy concludes that the proposed development can connect to existing infrastructure and SuDS will be incorporated where possible in order to minimise surface water runoff in accordance with policy CC3 of the Local Plan.

Noise Impacts

- 12.21 An Environmental Noise Impact Assessment has been prepared by Acoustic Design Technology (ADT). The report determined the existing ambient noise levels in the vicinity and assesses the impact of noise generated by industrial operations and incidental noise from Carlton Industrial Estate. The report concludes that when context is taken into account, including the low absolute noise levels, the established residential character of the surrounding area and the opportunity to provide sound insulation measures, the residual impact should be lower, and the site should be suitable for residential development.

Archaeology

- 12.22 In line with Local Plan policy HS22, Archaeological Research Services (ARS) were commissioned to undertake a desk based archaeological assessment. Although no significant archaeological remains were identified within the proposed development area, cropmarks identified within the surrounding landscape indicated potential scope for Iron Age / Romano-British remains to be present on the site. Consultation with South Yorkshire Archaeological Service (SYAS) confirmed that a further phase of evaluation fieldwork in the form of an initial geophysical survey and a subsequent phase of evaluation trenching to be carried out in accordance with a Written Scheme of Investigation to be approved by SYAS.
- 12.23 Wessex Archaeology has produced a detailed Gradiometer Survey Report. The survey did not detect any anomalies that could be confidently interpreted as of archaeological origin. An intrusive site investigation was undertaken by Wessex Archaeology and there were no findings of archaeological interest.

13.0 Conclusion

- 13.1 This Planning, Affordable Housing and Community Engagement Statement has been prepared in support of a full planning application for the erection of 35 new dwellings off St Michael's Avenue, Monk Bretton.
- 13.2 This statement provides background information regarding the site context as well as a summary of technical reports, pre-application discussions and public consultation feedback. This statement demonstrates that the scheme has been developed in accordance with national and local planning policies as well as recently adopted supplementary planning documents. Overall it is demonstrated that the site can be appropriately developed to

provide a mix of market, private rent and affordable rent dwellings supported by appropriate infrastructure and delivering a net biodiversity gain.

- 13.3 The layout, scale, appearance and landscaping of the proposed development have been carefully considered and takes into account the site's location, surrounding context, physical constraints and surrounding properties to achieve an attractive and sensitive form of development.
- 13.4 The statement has determined that the development proposals are in accordance with national and local planning policy objectives, and that planning permission should be granted to allow the delivery of 35 high quality new homes.