

2023/1159

Oakstone Homes Ltd

Erection of detached dwellinghouse

Crowick House, Belle Green Lane, Cudworth, S72 8LU

Site Description

The site is located on Belle Green Lane in Cudworth. The site is located at the edge of the settlement with the land beyond the southern boundary lying in the Green Belt. The site comprises of newly built dwellings within a dead-end cul-de-sac. The application relates to an existing plot at the rear of the small development which has yet to be developed. Planning permission was granted for 8 dwellings inclusive of this plot. The plot has planning permission for a detached dwelling and detached garage which remains extant. Although the land across the wider development site slopes gently down from north to south and east to west it does not have any significant level differences across the site. A dense line of mature trees forms part of the rear boundary with the Green Belt. The site is located at the edge of the settlement with the land beyond the southern boundary of the property lying in the Green Belt. An agricultural storage building is constructed on the adjacent land.

The surrounding site has been developed with the exception of this plot. In essence, this application would seek to provide a different design of dwelling to be placed on this plot.



Site History

2021/1261 Variation of condition 2 of application 2016/1062 (erection of 8 dwellings) to allow re-design of plots 3, 4, 5 and 6 and changes to the layout including the internal access road - Approved.

2020/0936 Erection of 4no. dwellings – withdrawn

2017/1486 Erection of 1no dwelling house and associated access. – Refused

2017/0287 Erection of 1no dwelling house and associated access. Refused

2016/1062 Erection of 8 no. residential dwellings Approved.

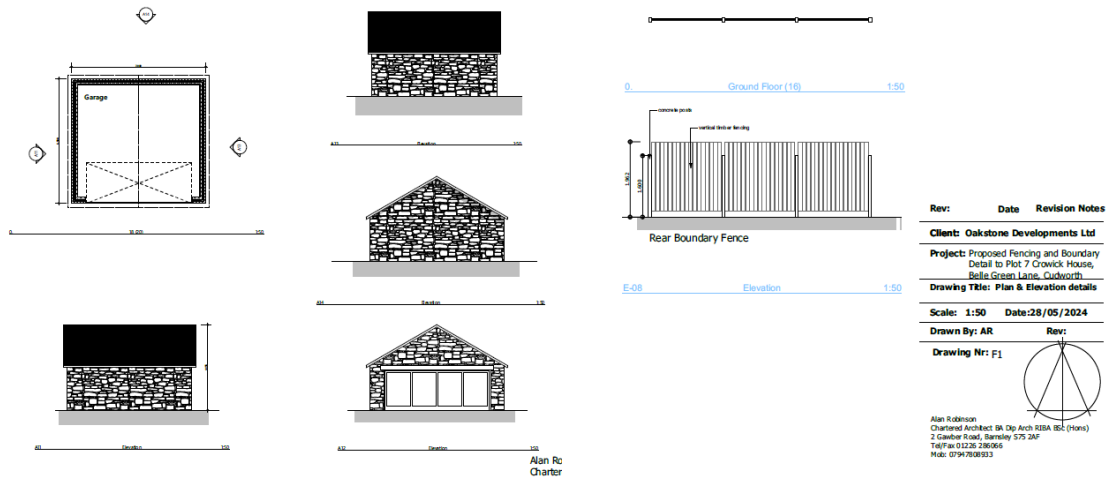
2015/1255 Erection of 5 no. dwellings Approved.

2012/005 Erection of 5 no. dwellings Approved.

2011/1446 Erection of 2no dwellings Withdrawn

2011/0313 Residential development (Outline) Approved

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Local Plan

Urban Fabric

Policy Context

The site is allocated as Urban Fabric within the Local Plan Proposals Maps and therefore the following policies are relevant:

Policy T3 New Development and Sustainable Travel

Policy T4 New development and Transport Safety

Policy SD1 Presumption in favour of Sustainable Development

Policy LG2 The Location of Growth

Policy GD1 General Development

Policy D1 High Quality Design and Place Making.

Policy Poll1 Pollution Control and Protection

Policy H4 Residential Development on Small Non-allocated Sites

SPD's

Those of relevance to this application are as follows:

-Design of Housing Development

-Parking

Other

South Yorkshire Residential Design Guide

NPPF

The NPPF sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Paragraphs of particular relevance to this application include:

Para 7 - The purpose of the planning system is to contribute to the achievement of sustainable development.

Para 11 – Plans and decisions should apply a presumption in favour of sustainable development.

Para 96 - Planning policies and decisions should aim to achieve healthy, inclusive and safe places.

Para 115 - Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

Para 131 - The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

Para 139 - Development that is not well designed should be refused.

Consultations

- Highways DC – As the plot is historical with an established use in this instance the proposal is ok. No objections subject to conditions.
- Pollution Control – No objections subject to condition.
- Yorkshire Water – No comments
- Drainage – No objections
- Ward Councillors – No comments received.

Representations

8 neighbouring properties were sent notification letters and a site notice posted close to the site. No letters of objection have been received.

Assessment

Principle of development

The site is located within an area of Urban Fabric where Local Plan Policies GD1 'General Development' and H4 'Residential Development on Small Non-allocated Sites' apply. These require that development should be compatible with its surroundings, in this case the property is set within a pocket of residential properties and as such the use of the site for residential uses would be in keeping with the locality. Furthermore, an extant planning permission exists for a dwelling on this plot therefore the principle has already been established.

Visual Amenity

The proposed development would see the erection of a detached dwelling. The site is set within a pocket of residential properties that are all two storeys in nature and constructed from natural stone. The proposal seeks to replicate the style of the surrounding dwellings with use of stone and tile. It would also be two storeys in height with a pitched roof alike the surrounding properties and as such would be in keeping with the locality in this respect.

The proposal is for a much larger house and garage than previously approved. The property has a small 2 storey front gable projection which adds character whilst staying in keeping with the surroundings. The property is set back well within the site with a good-sized front and rear garden.

As such the proposal would be in keeping with the local character of the area in terms of scale, building style, and materials. Therefore the proposal would be considered acceptable in terms of visual amenity in accordance with policy D1 of the Local Plan.

Residential Amenity

Although Policy GD1 of the Local Plan does not include reference to any specific space standards, it states that proposals for development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents amongst other matters. Policy D1 of the Local Plan expects development to be of a high quality, including through its layout and design, so that it contributes to a healthy, safe and sustainable environment.

The 2023 Design of Housing Development Supplementary Planning Document (SPD) advises that all developments should achieve the internal spacing standards set out in the South Yorkshire Residential Design Guide (SYRDG).

It also advises that rear gardens of proposed dwellings should be at least 50 square metres in the case of two-bedroom houses/bungalows and 60 square metres for houses/bungalows with three or more bedrooms. Smaller gardens may be acceptable in corner plots if privacy and daylighting can be maintained.

The proposal is for the erection of a 4-bedroom dwelling. The SYRDG sets out acceptable internal spatial standards. The proposal meets the internal spatial standards set out within the SYRDG and the Council is satisfied that the proposal would ensure that there would be no adverse effect on the living conditions and residential amenity of future occupiers in line with planning policy.

The external amenity space also meets with the requirement in both SPD: Design of Housing Development and the South Yorkshire Residential Design Guide.

Due to the orientation and positioning of the windows to this property and the introduction of the boundary fence, overlooking or loss of privacy is not expected to occur ensuring residential amenity is not compromised with respect of the immediate neighbours.

It is therefore concluded that the internal living space and external amenity area of the proposed development would be of a sufficient size and configuration such that future occupiers would have acceptable living conditions and the existing residential amenity of the neighbouring dwellings is retained. Consequently, as the proposal meets all the standards in the SYRDG and the SPD, it would meet the requirements of Policies GD1 and D1 of the Local Plan.

Highways Safety

The principle of the proposal was established within the previously approved applications. Although the highways department are not satisfied that the proposal meets the planning policy needs in terms of the number of dwellings accessed from a private drive, as this has been historically approved and the applicant could build the original dwelling without further permissions and this proposal is only to amend the design of the approved dwelling in this instance the Council does not wish to raise the issue with regards to the private drive.

The amended site layout plan now shows the altered house type and position along with a detached double garage rather than the previously approved single garage. The garage is shown to have sufficient dimensions to accommodate two vehicles and, although the extent of the proposed driveway is not shown, it is evident that there is ample room within the site to accommodate additional parking/turning facilities.

The Council can confirm that off road vehicular parking proposed as part of the scheme is satisfactory and in compliance of both SPD: Parking and SPD: Design of New Housing Development and in compliance with Policy T3 and T4 of the Local Plan.

Conclusions

The facilities for future residents of the property would meet the requirements set out in SPD 'Design of Housing Development' and the South Yorkshire Residential Design Guide and would be in compliance with Local Plan policy GD1.

Given the comments above, the application is recommended for approval.

Recommendation: Approve