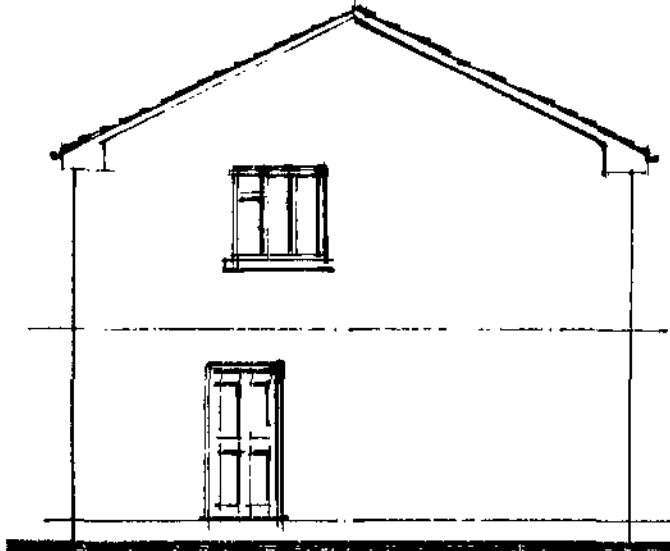
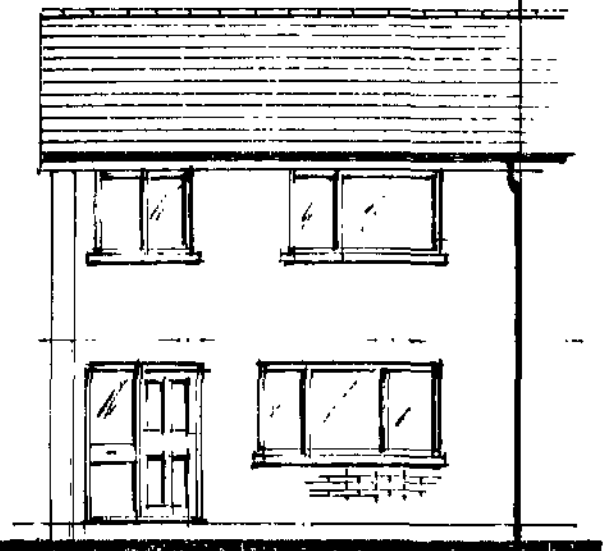




Existing Rear Elevation On 1



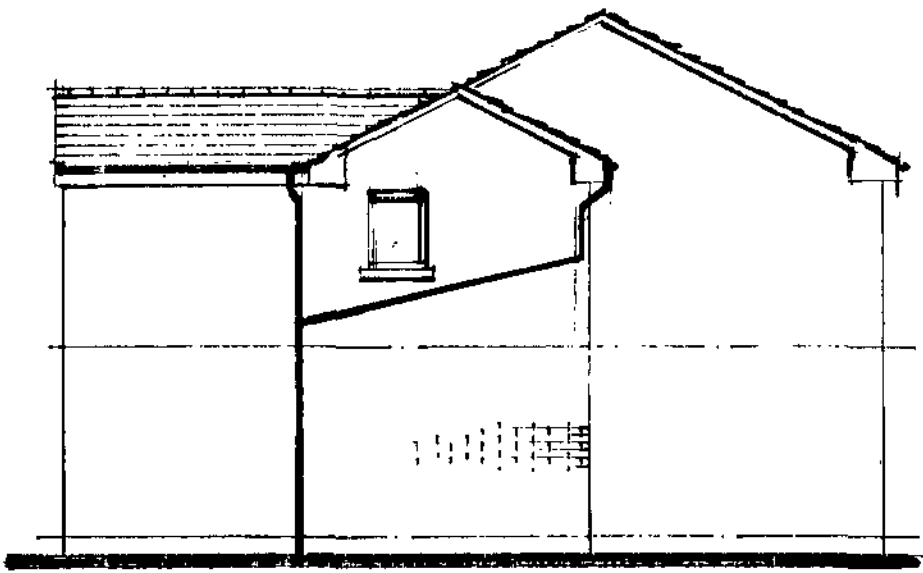
Existing side Elevation On 2



Existing Front Elevation On 3



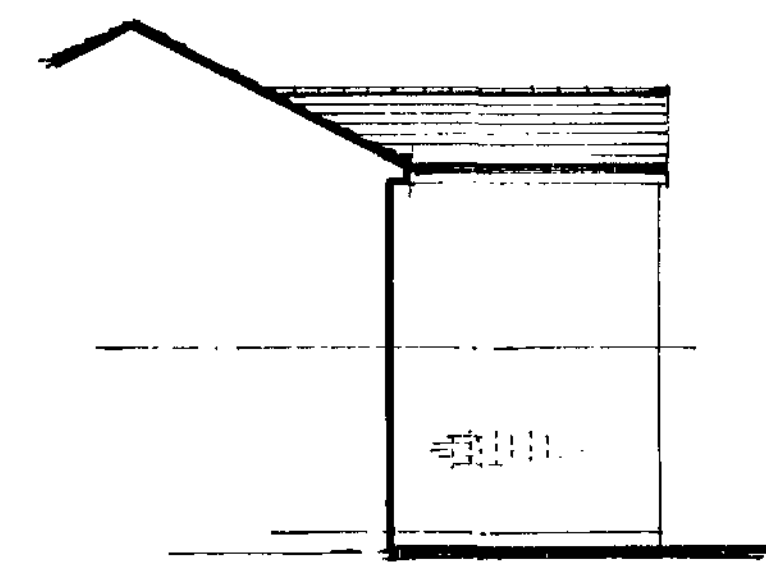
Proposed Rear Elevation 1



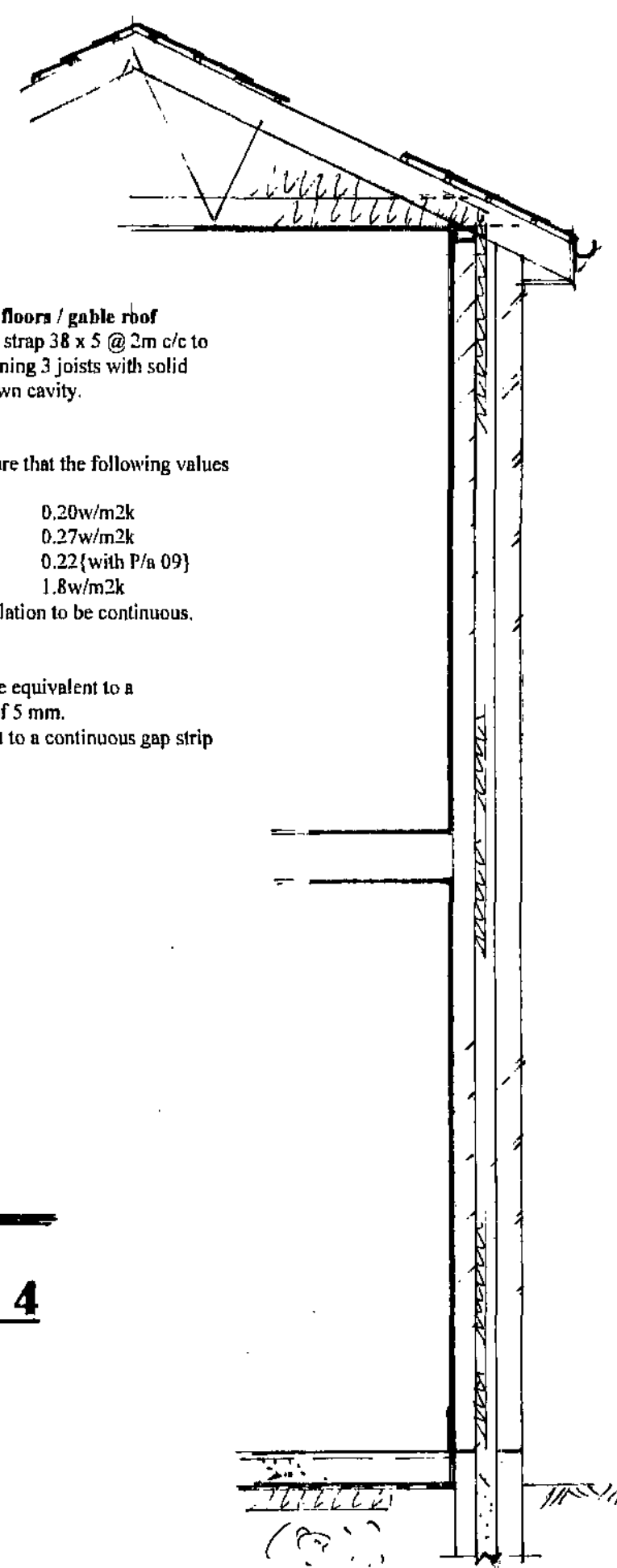
Proposed Side Elevation On 2



Proposed Front Elevation On 3



Proposed Side Elevation On 4



Section A - A

**Heating.**  
All habitable rooms to have a suitably sized radiator extended from the existing system. Existing boiler capacity to be checked for adequacy.  
All installed by a gas safe installer.  
All hot water pipes shall be insulated with foam equivalent to the outside dia of the pipe.  
Radiators to have thermostatic valves.

**General**  
Re site any utility services where applicable around the extension. Re site any meter boxes outside line of walls.

**Roof Insulation.**  
Above ceiling joists/ roof voids - A min of 300 mm rockwool to be provided within the roof space. 150 between joists and 150 mm over joists at 90 degree.  
Sound reduction to new first floor to be 100 mm mineral felt min density 10kg/m2

**Plumbing and Drainage.**  
Hepworth or similar 112mm UPVC gutters, brackets and fittings down pipe to be 75 mm dia.  
**Surface / Foul water drainage**  
The existing drain locations are assumed. The builder to expose on site and agree any necessary amendments with the building Inspector.  
Any manhole enclosed by the extension to have a double seal mechanically screwed cover.  
All external drains to be 100mm Osma plastic pipe bed and surround in gravel to falls  
Foul - 1:80  
Surface water - 1:100  
Surface water as shown to be taken to a soakaway a min of 5m from any building.  
All new drainage and protection details to existing shall be agreed with the Building Inspector.  
Pipe sizes - Sink 40mm up to 3m run 50mm up to 4m run  
WC - 100 mm. Separate connections and 75 mm deep seal traps to 100 s & vp terminating internally with non return valve.  
All internal s&vp to be insulated with min 50mm rockwool.

**Lateral Restraint to floors / gable roof**  
Galvanised mild steel strap 38 x 5 @ 2m c/c to joists and rafters spanning 3 joists with solid nogginns at 450 c/c down cavity.

**U Values**  
The builder shall ensure that the following values are achieved.  
Roof 0.20w/m2k  
Walls 0.27w/m2k  
g.f. 0.22 (with P/a 09)  
Windows / doors 1.8w/m2k  
All roof and wall insulation to be continuous.

**Roof Ventilation.**  
Ridge ventilation to be equivalent to a continuous gap strip of 5 mm.  
Eaves to be equivalent to a continuous gap strip of 25mm.

**NOTES:**  
All dimensions must be checked on site and not scaled from this drawing.

**Scope of Works**

**General.**  
Construction of a two storey side/ rear extension creating ground floor utility and dining room and to first floor 2 No bedrooms

**Notes**  
**General**  
These plans and details have been prepared for the purpose of providing information to the local authority to assist them in determining approval or rejection of planning / building regulations.  
These notes and details indicated on these drawing drawings are to be checked and verified by the contractor at the time of pricing and prior to commencement, the builder shall satisfy himself that all details and dimensions are correct.  
Any discrepancies shall be identified at the time of tendering and the client notified in writing of such changes required.  
All dimensions to be taken to the nearest brick size.  
His price shall be deemed to include for:  
Any additional calculations as required by building control and as a result any additional building works that may be required.  
Satisfying all current relevant codes of practices and British Standards shown or omitted from these drawings.  
When appropriate it is the owners responsibility to serve notice on the adjoining / adjacent neighbours for the proposed works under the Party Wall act 1996. The explanatory booklet can be obtained free of charge from ODPM free literature PO Box 236 West Yorkshire LS23 7NB. Tel 0870 122 6236

**Mechanical air extraction.**  
A minimum of 30 l/sec min air extraction to be allowed to all required areas such as utility rooms, wired to light pull cord with min 15 minute over run.  
All mechanical ventilators to be ducted to outside air.

**Walls**  
**Internal skin**  
100 mm Thermolite shield or similar blockwork

**Cavity**  
100 mm air gap filled with 50 gap + 50 kingspan s&k.  
Wall insulation to extend 150 mm below the top of the floor insulation.  
Cavity to extend full height up into roof space. Cavity fill of weak mix concrete to be no higher than 225 mm below highest dpc  
Cavity to be sealed at eaves with insulated cavity closer incorporating a vert dpc.  
All cavity wall returns to be 655 mm minimum.  
Insulated cavity closers to be provided to all reveals.

**External skin**  
Brickwork 100 mm to match existing  
Stainless vertical twist wall ties to be provided at 750 horiz c/c and 450 mm vert c/c, every block depth to reveals.  
Connection of new to existing walls to be achieved by block bonding or proprietary fixing systems.  
A lead flashing cavity tray to be provided between existing dwelling and the extension.

Air bricks to be provided to gable elevations to provide additional ventilation to roof space. This to be agreed with the BI.  
Weep holes to be provided where applicable.

**Internal walls**  
To be from timber studding 75 mm x 50 mm with 12 mm plaster board and skim. Studs @ 450 c/c horiz and nogginns at 900 vert c/c  
A minimum of 50 mm insulation to be provided to bathroom walls, with double skin of plasterboard to inside face of utility room.  
Ceilings to be finished with 12 mm plasterboard / skim  
Utility room to have a min of 10 kg /m2 density mineral felt insulation.

**Facia / soffit boards**  
From 25 mm x 250 mm or similar to match existing, timber or pvc to match existing, provide air vents as described.

**Electrical Installations.**  
All installations to be subject to certification under the "competent persons scheme"  
A certificate shall be supplied on completion of all electrical works  
Lighting - 1 in 4 to be low energy.

**Means of escape.**  
All new windows to have a clear opening of 750 mm x 450 mm and 1100 mm from floor height.  
1 No self contained operated smoke alarm to BS 5446 Part 1 to be installed on each storey smoke detectors as indicated on the drawing.  
All detectors to be a min of 300 mm from any wall.  
Interconnected & wired to a separated fused circuit. Battery back up required.

**Concrete Ground Floor slabs.**  
To be 150 mm concrete with 1 No layer of A142 mesh reinforcement in top face. on 1200 gauge visqueen on sand blinding on 150 mm well compacted hardcore Provide 75 mm kingspan kooltherm k3 insulation under kitchen extension, returning vertically around perimeter of slab.

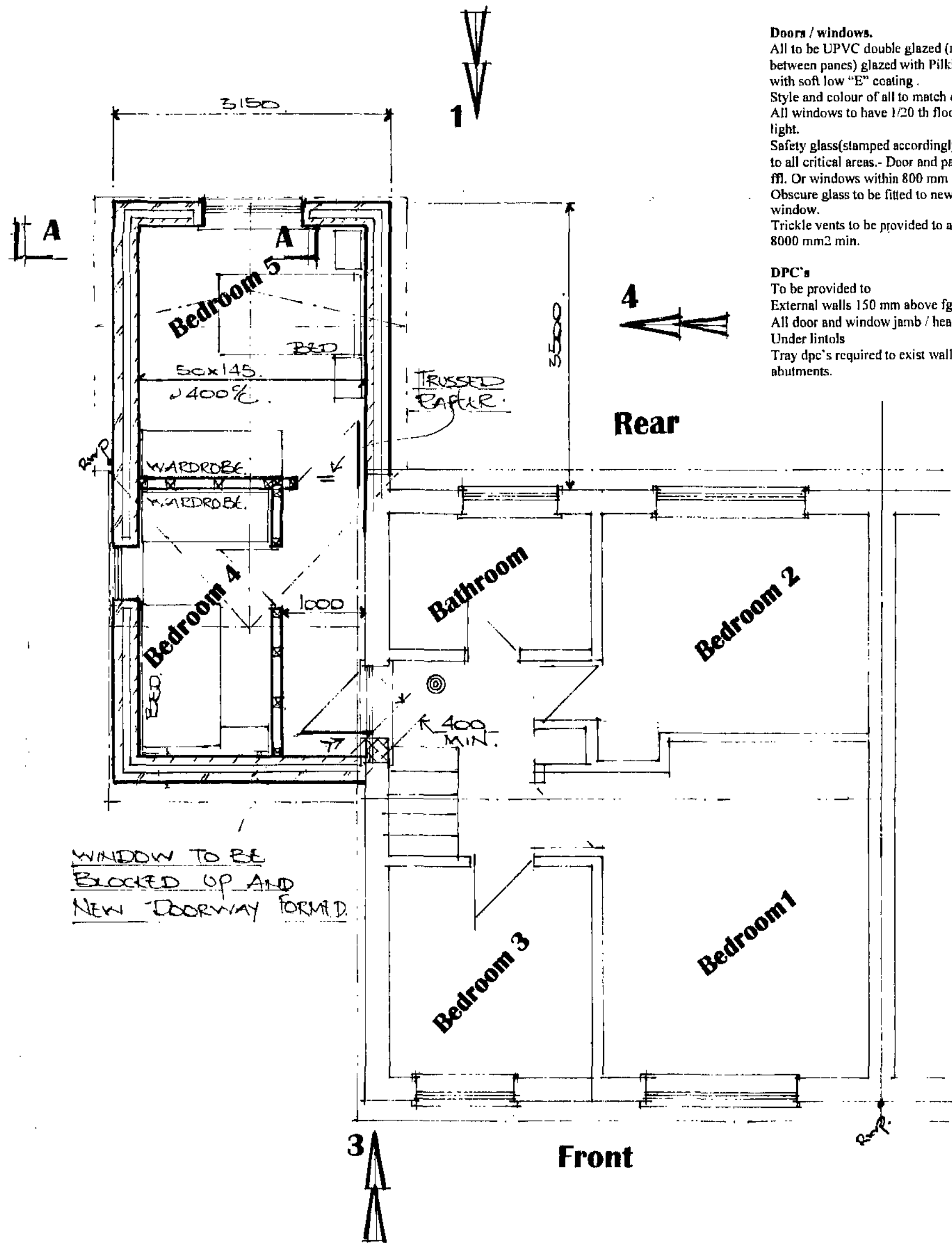
**Radon Barrier**  
Where Radon Barrier is required visqueen to be 2000 g with all joints taped and all penetrations thro to be sealed. This to continue thro the external leaf with tray dpc. On suspended timber floor visqueen to be placed under oversite conc.

For category 1 land fill sites use gas membrane such as Monarflex or similar

**Timber First Floors.**  
50 x 145 (sc 3) softwood joists at 400 c/c with herring bone starting mid span and underdrawn with fire lined board 19 mm  
T & G floor grade particleboard (EN 312-5) screwed to joists or 19 mm T & G Floorboards (BS 1297)  
Joists to be built into walls or attached to joist hangers and screwed to joists.  
Joists to be doubled up under stud wall locations.

**Roof design (Trusses.)**  
The roof shall be of timber construction all as per supplier's calculations. Calculations to be supplied to building control for approval a min of 28 days prior to commencement on site.  
Trusses to be at 600 mm c/c  
Fixing of roof timbers to vertical walls to 6 x 2 timber wall plate fixed to wall by m12 at 600 c/c  
or to horizontal wall plate  
Valleys or connection of roof to walls to have 5 lb lead flashing.  
Tiles to match existing on timber tile battens of 40 mm x 19 mm c/c to suit tile type on sarkin felt. Tiles to be chosen to suit roof pitch.  
Tile technical info to be given to the BI to determine the necessity for corrugated no joint underfelt depending on type of tile / roof slope.  
All roofs shall ensure a continued air flow.  
Soffits shall be fitted with vents or a 25 mm gap with bird mesh.  
Ridge vents shall be fitted where necessary and as directed by the Building Inspector.  
Roof to be suitably wind braced to appendix A of BS 5268 PT 3  
100 x 65 sw wall plates secured to brickwork with galv steel straps @ 1800 c/c  
Roof ventilation - Vents to be provided to eaves soffit, ridge and tile vents all as directed by the building inspector.

**Construction (Design and Management) Regulations 1994**  
Applicable to all projects except work to a persons own house other than that carried out by the developer.  
The client shall be advised that all projects lasting for more than 30 days or include more than 4 people engaged on the construction on site at any one time shall be subject to the above regulation.  
The client shall take all reasonable steps to ensure that the appointed contractors have the competence and adequate resources sufficient to manage the construction work and comply with the above regulations.  
If the project is subject to the above regulation the client shall appoint a planning supervisor and ensure that notice is served on the health and safety executive at tender acceptance stage using form 10.



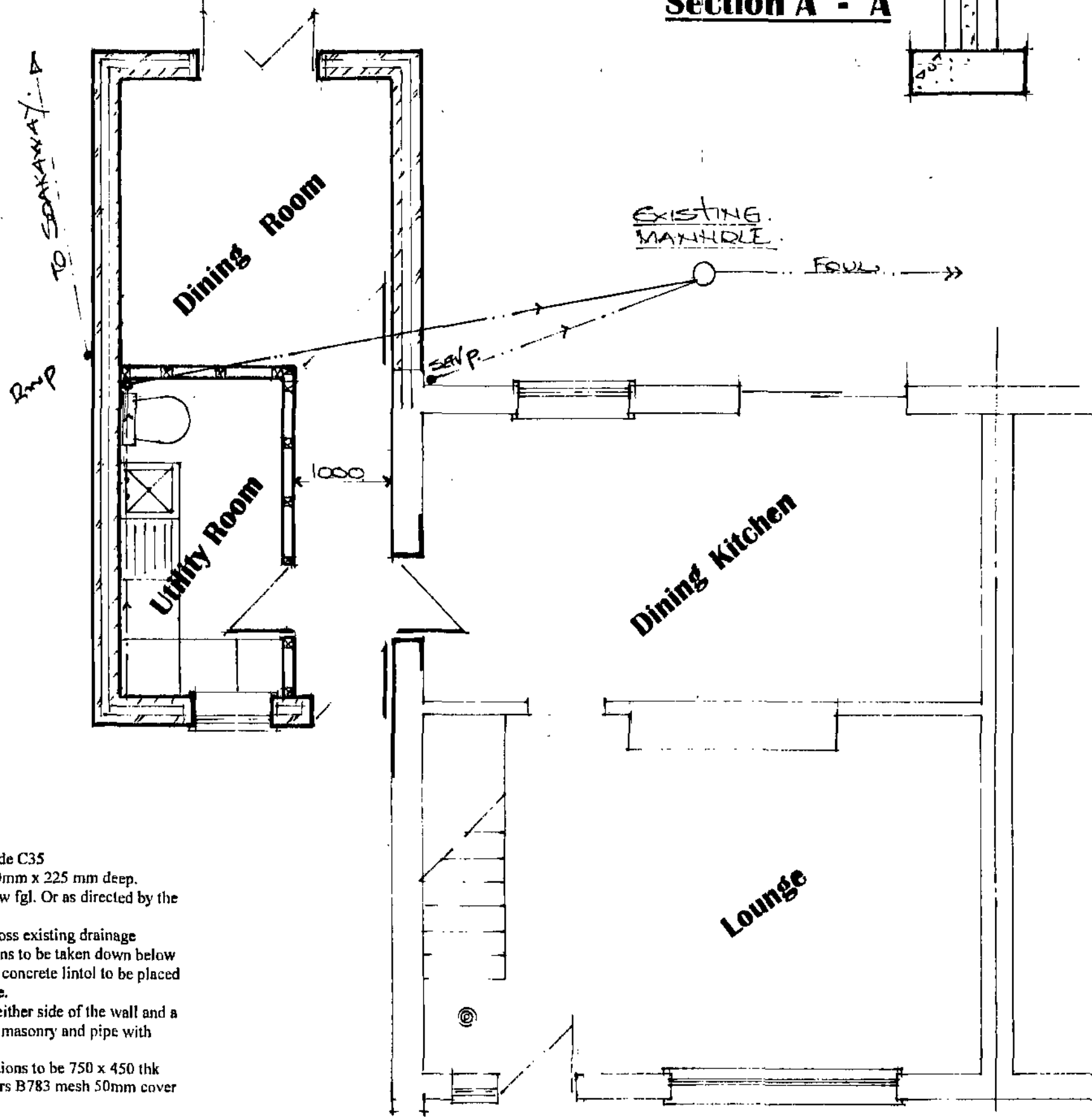
Existing / Proposed First Floor Layout

**Doors / windows.**  
All to be UPVC double glazed (min 16 mm gap between panes) glazed with Pilkington K glass with soft low "E" coating.  
Style and colour of all to match existing.  
All windows to have 1/20 th floor area as open light.  
Safety glass (stamped accordingly) to be provided to all critical areas - Door and panels 1.5 m from fl. Or windows within 800 mm from fl.  
Obscure glass to be fitted to new utility room window.  
Trickle vents to be provided to all new windows 8000 mm2 min.

**DPC's**  
To be provided to External walls 150 mm above fgl.  
All door and window jamb / heads Under lintels  
Tray dpc's required to exist walls at new wall abutments.

**Foundations**  
All concrete to be grade C35  
Foundations to be 600mm x 225 mm deep. Placed 1000 mm below fgl. Or as directed by the Building Inspector.  
Where foundations cross existing drainage services the foundations to be taken down below the I.L. of the pipe. A concrete lintol to be placed over to bridge the pipe.  
Provide rocker pipes either side of the wall and a 50mm space between masonry and pipe with flexible seal.  
Any eccentric foundations to be 750 x 450 thk reinforced with 2 layers B783 mesh 50mm cover to all faces.

**Lintols**  
All door / openings / window lintols to be "Caticnic". Size and type as agreed with the Building Inspector.  
End bearing for all lintols to be 150 mm.



Existing / Proposed Ground Floor Layout

E	
D	
C	
B	
A	

Date	Revisions
------	-----------

8 Attlee Crescent  
Darfield  
Barnsley  
S73 9HT

Client  
**Ken Pearson**

Job Title  
**2 Storey Side / Rear Extension**

Drawing Title  
**General Arrangement / Elevations.**

Scale  
**1 : 50 1 : 100 1 : 25**

Date  
**17.11.09**

Drawn by

Drg. No.  
**KP / 01**