

2022/1207

RMH properties Ltd

Front and side boundary wall including redesign (part retrospective)

2 Poplar House Farm Close, Cudworth, Barnsley, S72 8FP

Planning History

A number of applications relate to the development of this site for 9 dwellings. The most recent and relevant to this application are the following:

2020/0243 - Variation of condition 1 of application 2019/1295 (relating to the development of 9 dwellings) to allow alteration to turning head, siting of Plot 6, and addition of rear extension and outbuilding to Plot 5 - Approved

2022/0531 - Non-material amendment to planning application 2020/0243 (relating to the development of 9 dwellings) to allow for alterations to access road – Approved

Site Description

The property is a modern stone built two storey dwelling on a new residential development in predominantly residential surroundings. The wall that forms the proposed development is already up at the front of the dwelling.



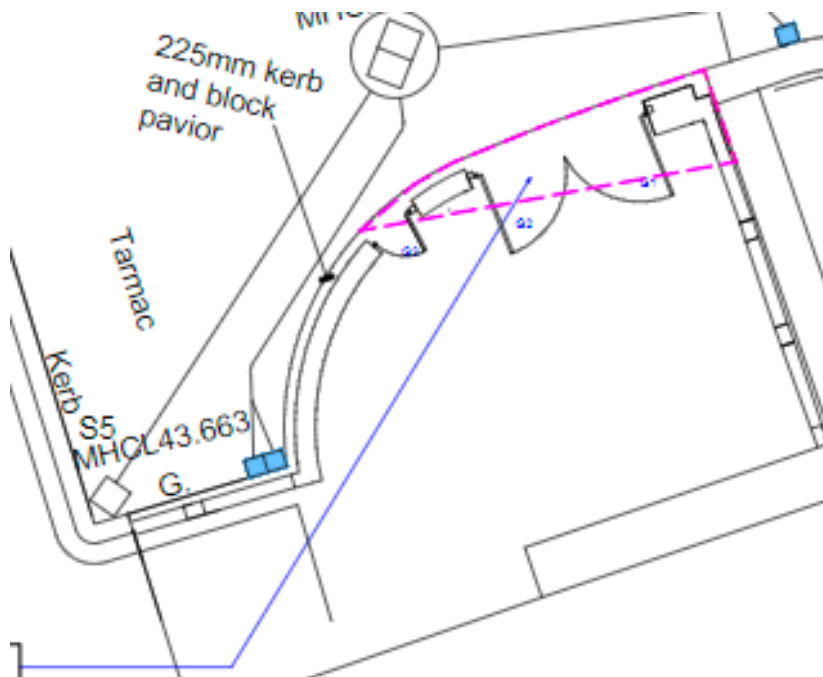
Aerial shot with red star indicating property



Property and boundary wall

Proposed Development

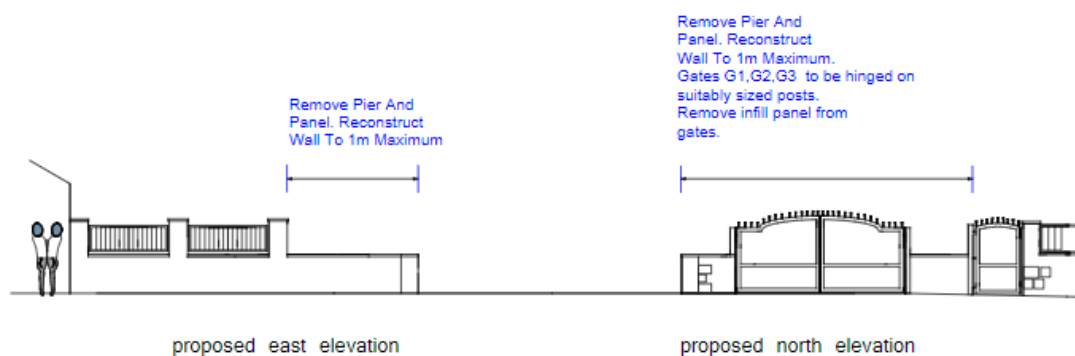
The proposal seeks planning permission for the retention of the wall, in the most part as it has been built, allowing for a 225mm kerb onto the adjoining road as shown below.



It is also proposed to alter part of the wall around the main gate and the side wall with no. 4 Poplar Farm House Close as shown in the plans below.



. Existing plans



Proposed Plans

The works therefore amount to the lowering of certain parts of the wall on the northern and eastern elevation down to 1m to provide appropriate visibility.

Policy Context

NPPF

The National Planning Policy Framework 2021 sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Where proposals are in accordance with the development plan, permission should be granted without delay.

Local Plan

The site is allocated as Urban Fabric within the adopted Local Plan.

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local plan Policies of relevance to the proposed development would be:

GD1 – General development

Policy GD1 - General Development

Policy D1 – Design

Policy T4 – New Development and Transport Safety

Supplementary Planning Document

House Extensions

Walls and Fences

Representations

Neighbour notification letters were sent to surrounding properties. No letters of representation have been received

Consultations

Highways – No objections

Ward Councillors – No comments received

Assessment

Principle of development

Boundary walls to residential properties are acceptable in principle subject to assessment on the following aspects:

- Design, appearance and materials.
- Highway safety.
- The impact on your neighbours.

These are assessed below

Design, Appearance and materials

The wall has been built of stone with dark wooden panels. These mimic the materials of the existing house which is stone built and has dark wooden window frames. Directly opposite the applicant's house, and facing the wall subject of this permission, an existing property has as similar stone and wooden panelled wall as can be seen from the photo below:



It is therefore considered that the style and design of the wall is in keeping with the new development and the residential surroundings in accordance with Local plan Policy D1 and the SPD on walls and fences

Residential amenity

The eastern part of the wall does border No.4. However, the majority of this wall does not exceed 2m so would be classed as permitted development. The part that does is proposed to be lowered to 1m close to the road which would bring it within permitted development. Notwithstanding this, it is to the side of this neighbouring property and is not considered to be of a size that would be over-dominant to the neighbouring dwelling. Other neighbouring properties are far enough away not to be affected.

Highway Safety

The plans have been subject to discussions with the Highways Section prior to the application being submitted. The scheme will allow a suitable kerb line to be created in front of the boundary wall to ensure the access road still meets highway requirements. In addition the alterations to the walls would ensure suitable visibility splays can be maintained. In view of this the Highways Section have raised no objections subject to a suitable condition.

Recommendation

Approve with conditions