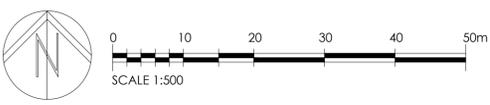
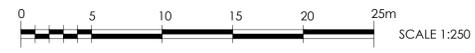
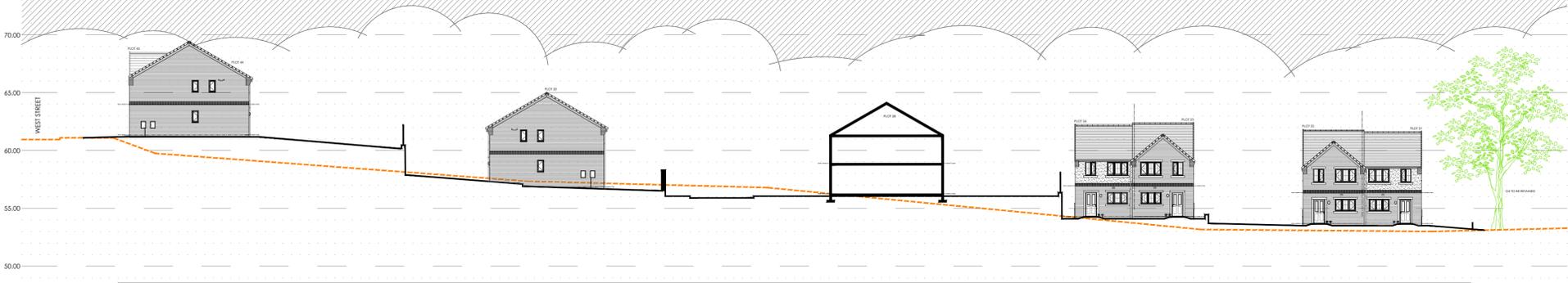


# WORSBROUGH, BARNLSLEY

**NOTES**  
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE REQUIREMENTS OF THE LOCAL AUTHORITY.



THIS DRAWING IS BASED ON SURVEY DRAWING NO. HH/WS/1501, PREPARED BY MS LAND & CONSTRUCTION LTD INFORMATION / DRAINAGE SURVEY DRAWING NO. LTC222/SP. IT IS SUBJECT TO CONFIRMATION OF BOUNDARIES / RIGHTS OF WAY / EASEMENTS AND CONSULTATION WITH THE LOCAL AUTHORITY, DESIGN TEAM AND PUBLIC UTILITIES, ETC.

- GENERAL KEY**
- SITE BOUNDARY
  - ▲ PEDESTRIAN & VEHICULAR ENTRANCE/S
  - GATE
  - B BIN STORE
  - ▲ AFF AFFORDABLE
  - EXISTING SURROUNDING BUILDING
  - EXISTING TREES / SHRUBS / HEDGES TO BE REMOVED - REFERENCE ARBORCULTISTS DRAWINGS.
  - EXISTING TREES / SHRUBS / HEDGES TO BE RETAINED - REFERENCE ARBORCULTISTS DRAWINGS.
  - ROOT PROTECTION ZONES - REFERENCE ARBORCULTISTS DRAWINGS.

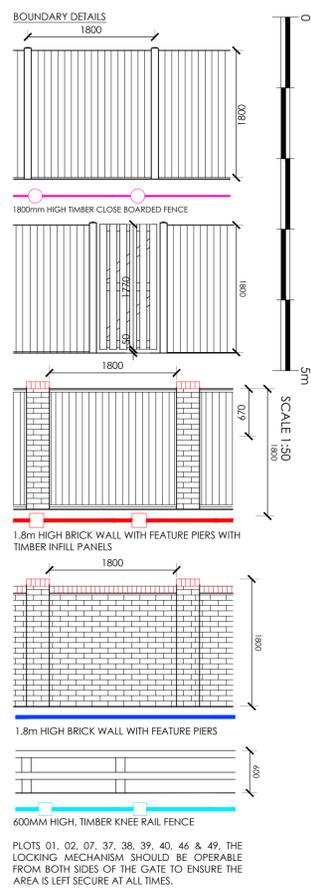
- BOUNDARY TREATMENTS**
- 1800mm HIGH BRICK WALL WITH FEATURE PIERS & VERTICAL TIMBER PANEL
  - 1800mm HIGH BRICK WALL
  - 1800mm HIGH TIMBER CLOSE BOARDED FENCE
  - 600mm HIGH, TIMBER KNEE RAIL FENCE
  - RETAINING WALL TO S.E DETAILS

- GROUND TREATMENTS**
- TARMAC TO ESTATE ROADS, PAVEMENTS & FOOTPATH - UNLESS OTHERWISE STATED
  - BRINDLE SETS TO MEWS COURTS AND PRIVATE DRIVES & DRIVEWAYS
  - TURFED AREAS
  - PAVING SLABS TO PATHS & PATIOS
  - LOW LEVEL SHRUBS REFERENCE LANDSCAPE ARCHITECTS DRAWINGS FOR SPEC'S.

**SCHEDULE OF ACCOMMODATION**

HT	BEDS	NO	SQ/M
HL736	2B	14NO.	74
HL847	3B	18NO.	85
HL889	3B	08NO.	88
HL980	3B	04NO.	98
HL1280	4B	07NO.	128
		51NO.	4544

- INCLUDING GARAGES 4706 AREAS
- GROSS - OVERALL INCLUDING EMBANKMENTS, TREES, ETC. - 3.64 ACRES / 1.47 HECTARES
- NET - EXCLUDING EMBANKMENTS, TREES, ETC. - 3.31 ACRES / 1.34 HECTARES
- POS - 0.0 ACRES / 0.0 HECTARES
- PARKING 200% TO ALL HOUSES
- DEVELOPMENT 14481 SQ FT / ACRE 33783 SQ FT / HECTARE



PLOTS 01, 02, 07, 37, 38, 39, 40, 46 & 49. THE LOCKING MECHANISM SHOULD BE OPERABLE FROM BOTH SIDES OF THE GATE TO ENSURE THE AREA IS LEFT SECURE AT ALL TIMES.

A PLOTS 5 & 6 ALTERED TO SUIT WESTERN BOUNDARY AS CLIENT INSTRUCTIONS. JC - 05.09.23

REV DESCRIPTION BY CHKD DATE

**LOROC ARCHITECTS**  
25A PARK SQUARE WEST, LEEDS, LS1 2PW  
T: 0113 233 7755  
W: www.loroc.co.uk

3RD FLOOR, 86 - 90 PAUL STREET, LONDON, EC2A 4NE  
T: 0203 875 5333

CLIENT  
**HOOBER HOMES**

PROJECT  
**WEST STREET, WORSBROUGH, BARNLSLEY**

TITLE  
**PROPOSED SITE PLAN LAYOUT & SITE SECTION A, B & C**

DRAWING NO. 1724-101 REVISION A  
SCALE 1:500 / 250 @ A1 DATE NOV 23  
DRAWN BY BC CHECKED BY JC

PURPOSE OF ISSUE  
● PLANNING ○ BUILDING REQS ○ TENDER  
○ COMMENT ○ INFORMATION ○ CONSTRUCTION

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