
2024/0251

Mrs Amy Basry

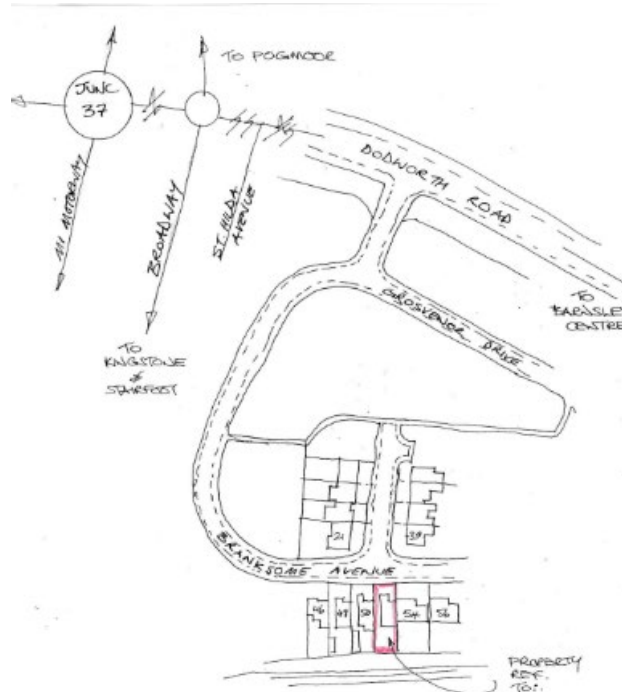
52 Branksome Avenue, Barnsley, S70 6HX

Single storey side extension to provide annexe and 1 no additional parking space at front.

Site Description

The application relates to a plot located on the south side of Branksome Avenue and in an area that is principally residential characterised by a mix of dwelling types of varying scale and similar appearance alongside the Horizon Community College and its grounds.

The property in question is a detached property constructed of brick with a gable roof with grey pantiles. The property benefits from an existing single storey front porch extension and single storey rear extension. The property is fronted by some soft landscaping and hardstanding which extends along the west side of the property to the rear. To the rear of the property is a rear garden and existing flat roof detached outbuilding. The property sits within a uniform building line with staggered ridge heights as the topography of the area descends west-to-east.



Planning History

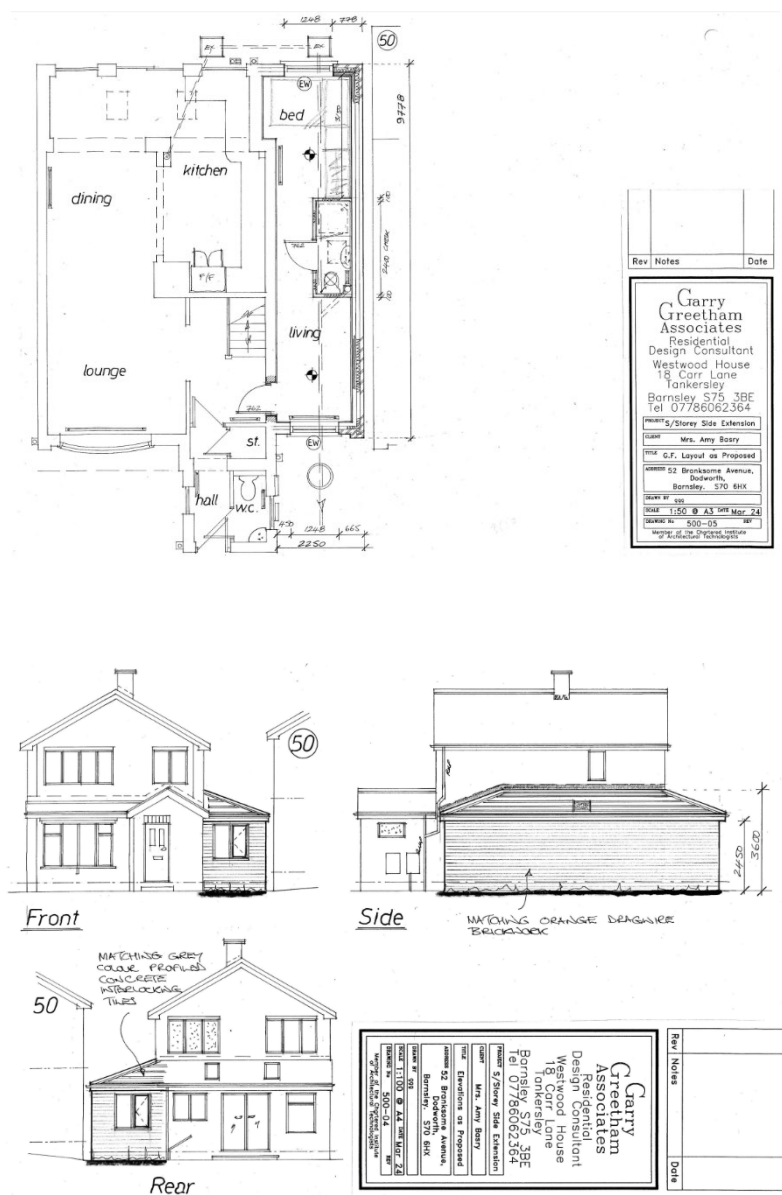
There are three previous applications associated with this site. However, the most recent and relevant application is as follows:

1. 2008/1571 – Erection of a porch with disabled wc facilities to dwelling. – Approved.

Proposed Development

The applicant is seeking permission for the erection of a single storey side extension to form an annexe and the creation of one additional parking space to the front of the dwelling.

The proposed extension would adjoin an existing rear extension to form a wraparound extension. The extension would be set back from the main front wall of the application dwelling by approximately 0.3 metres and would have a sideways projection of approximately 2.3 metres with a depth of approximately 9.8 metres. The extension would adopt a hipped lean-to roof with an approximate eaves and ridge height of 2.5 metres and 3.6 metres respectively. The extension would be constructed of materials that would closely match those used in the exterior construction of the existing building.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

Consultations

Highways DC – No objection subject to conditions.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Visual Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they do not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The proposed extension would be visible from the public realm of Branksome Avenue and would be a prominent feature within the street scene. The extension would adopt a sympathetic form and features, including a sideways projection that would not exceed two thirds the width of the original dwelling, closely matching external materials and a hipped lean-to roof, in accordance with the House Extensions and Other Domestic Alterations SPD. The extension would not be set in from the west side boundary by one metre. However, due to the constraints of the application site, it is not considered practicable to achieve this. Moreover, the extension would be a single storey and existing level differences would likely help to avoid a terracing affect.

The proposed extension is intended to be used as an annexe. An annex should normally have a close physical relationship with the host dwelling, be single storey and their size shall be up to 39m² and no larger than the size of a double garage. In this instance, the annexe would maintain a close physical relationship by being attached to the host dwelling, it would be a single storey and would not exceed 39m², in accordance with the House Extensions and Other Domestic Alterations SPD.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Residential Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The proposed extension would be erected to the east of the blank side elevation of adjacent 50 Branksome Avenue and its existing rear extension. The proposed extension would also be set back from the rear elevation of the neighbouring extension. Windows would be limited to the front and rear elevations of the proposed extension and would not directly face any surrounding neighbouring properties, nor would they be obstructed.

The proposed extension is intended to be used as an annexe. An annex should normally have a close physical relationship with the host dwelling and maintain a reliance with it having some shared facilities. In this instance, the annexe would maintain a close physical relationship by being attached to the host dwelling. The annexe would comprise three rooms in total, including one bedroom and would maintain a reliance on shared dining and kitchen facilities. The annexe would share existing private amenity spaces.

A condition which requires the annex to remain ancillary to the host dwelling, same family occupancy and one which prevents it being used, sold, or rented as an independent dwelling/separated planning unit at a later date will be attached to any forthcoming decision.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Highway Safety

The application site is served by an existing driveway to the west side and front of the application dwelling. The proposed extension would result in the loss of some existing parking space to the side. However, an additional space would be created to the front to maintain parking for a minimum of two vehicles, in accordance with the parking SPD. Highways DC were consulted on the proposals. It was considered that the scheme would result in an overall improvement to the parking arrangements of the site and therefore no objections were raised.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

**Recommendation -
Approve with Conditions**