

**Michael Clynych Associates
Architect & Town Planner
14 Huddersfield Road
Ingbirchworth
S36 7GF**

01226 766308

10 November 2013

Elaine Ward
BMBC
Development Services
PO Box 604
Barnsley
S70 9FE

Dear Ms. Ward,

2013/1156 The Bungalow, Thurlstone

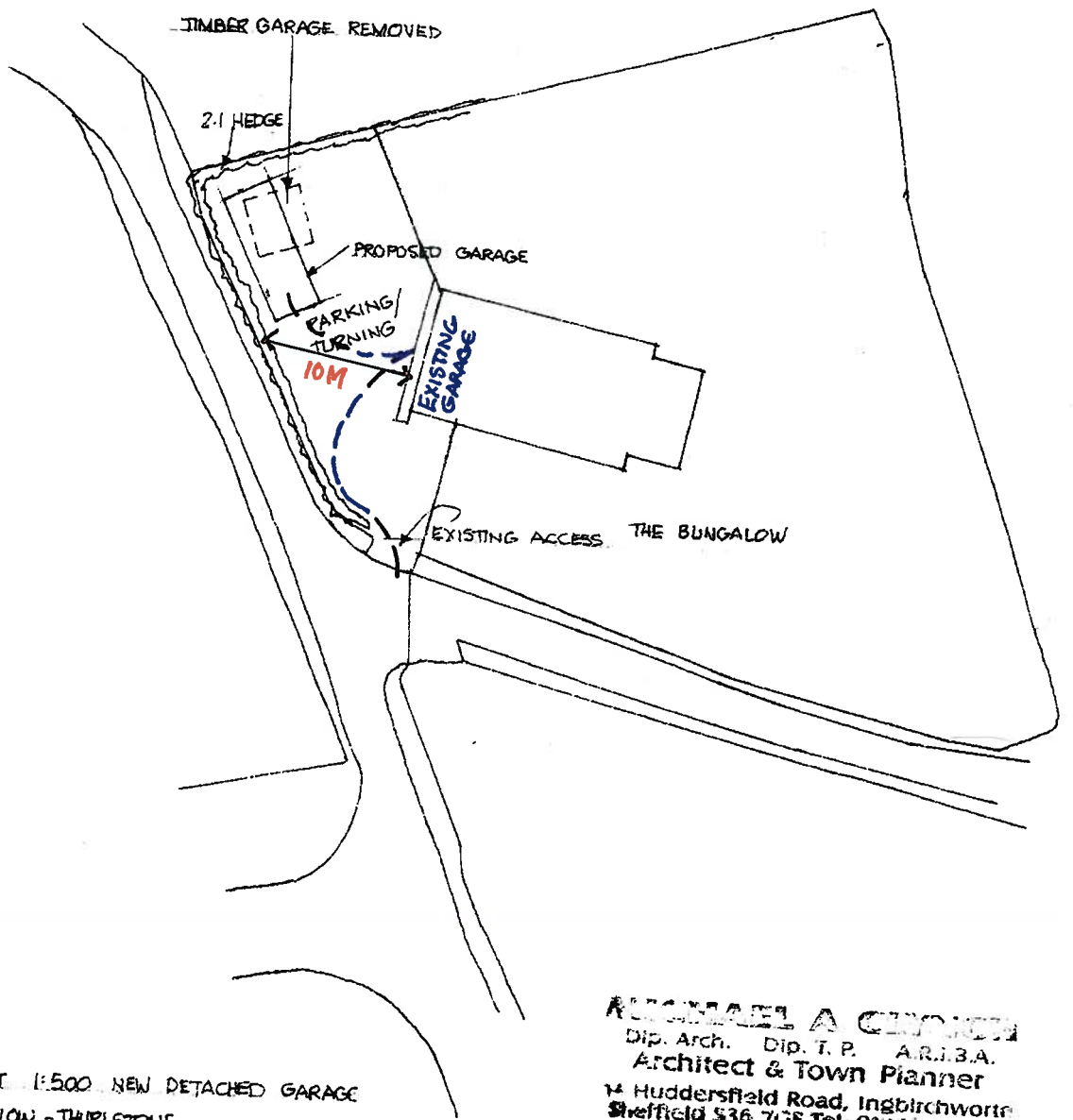
I have the Highway response and comment as follows:

- The garage is a standard pre-cast unit. Thousands are sold each year. It is 3m wide internally.
- There are 2 bedrooms in the bungalow.
- The entrance and drive exist to what is currently an internal garage. The garage will be used for storage in future and be replaced by the detached unit.
- The existing entrance and parking arrangements do not require planning permission and Highways views are of no relevance.
- The site can probably absorb up to 5/6 vehicles but in reality the owner has one car.
- I have indicated manoeuvring space with ample "wiggle" space so a vehicle can exit in forward gear. In fact, if the applicant wishes to reverse in or out that is what will happen, as it does now and has done since it was built with no incident, similarly to most other houses in Thurlstone.

I hope this is helpful.

Yours sincerely,

A handwritten signature in black ink, consisting of a stylized, cursive name that appears to be 'M. Clynych'.



SITE LAYOUT 1:500 NEW DETACHED GARAGE
 THE BUNGALOW - THURLSTONE

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