

Proposed Provision of Accessible WC Facilities
At Holy Trinity Church, Halifax Road,
Thurgoland, S35 7AL

For Parochial Church Council

Feasibility Study & Statements of Needs & Significance

1.0 Generally:

- 1.1 Tom Crooks Architecture Ltd. is instructed by Parochial Church Council to investigate the options available for the installation of an accessible WC, storage space and possibly a meeting room.
- 1.2 The village of Thurgoland is a semi-rural civil parish with a population of around 2,500 people located in the Pennine foothills of South Yorkshire.¹ The church is located off Halifax Road and is set within a tight curtilage which is dense with trees. Adjacent to the church is the Vicarage and the village school to the West.
- 1.3 The Victorian Gothic church is Grade II listed. The only other listed building within the locality is Roper House (Grade II), which is about 500m further west along the main road.
- 1.4 The property is not located within a National Park.
- 1.5 The property is not located within a Conservation Area.
- 1.6 Faculty Permission is presently being sought from the Sheffield Diocese; A Notice of DAC Advice has been issued. This application to Sheffield City Council is for Planning Permission only. Listed Building Consent is not required as the building falls under Ecclesiastical Exemption, with the relevant listed building permission being obtained through the Faculty process with the Diocese. Therefore, the application should be considered on planning grounds only.

Significance:

- 1.7 The Domesday book (1086) lists the village as 'Turgesland', a Saxon name that meant land dedicated to their deity Thor. The name has since evolved with a few variations such as 'Thurg'lond' (1259) and 'Thunkerland' (1316) until finally the name 'Thurgoland' was adopted in 1549 and is still in use today.²

¹ <http://www.thurgoland.org.uk/home/thurgoland>

² <http://www.thurgoland.org.uk/home/thurgoland>

<https://393b7103-a-62cb3a1a-s->

sites.google.com/site/thurgolandpc2016/home/thurgoland/Whats%20in%20a%20name.jpg?attachauth=ANoY7cpSfleGjuA1CZJ8hu1zZZ02FVrY1aiLL1GDPXkE8AR9v1vqN_aE-

- 1.8 From the 17th century, the village was an important centre for the early iron-making and wire-drawing industries.³ In 1990, a collection of over 1,000 glass photographic plates of the district were discovered that were taken by the local photographer, Frank Downing, between 1898 and 1948. Downing's photographs show that life changed very little until the 1950s.⁴
- 1.9 It is known that the current Holy Trinity church is the third place of worship built in the village. A Parliamentary survey of 1650 records that an old chapel at Thurgoland was 'wholly ruined and in decay'. Thurgoland was then in the parish of Silkstone and the chapel is thought to have been near Pule Hill.⁵
- 1.10 The village did not have another church of its own until 1843 when site was given by Lord Wharnclyffe and the church designed by Hurst & Moffatt⁶.
- 1.11 By 1870, the building was in 'a state of partial decay' which may have been due to fire damage⁷. A decision was made to rebuild the whole church. It was redesigned by the leading Victorian architect George Edmund Street⁸. The original Street reredos, font and pulpit still stand today. The stained glass windows of the East end, Lady Chapel and Baptistry were all made by John Hardman & Co of King William Street, The Strand⁹.
- 1.12 Much of the cost was covered by Lt Colonel Edward Neville and Mrs Neville. Edward Neville was the son of a former Dean of Windsor and a devoted churchman, but in the end the church was seen as memorial to his wife's parents, Vincent and Agnes Corbett. An engraving in their honour is located in the west wall behind the Font. The new church of the Holy Trinity was consecrated on 8th August 1871, which is the date mentioned as original in the building's listing description.¹⁰
- 1.13 Some alterations including the addition of the East vestry were made by Sir Charles Nicholson around 1932.¹¹
- 1.14 Historic maps (see below) indicate the presence of all existing elements of the Church back to 1870.

[mqSmpcyofrFsBhjiwZd4FYMzkbWxKtbQSM61VU05aeFmGITCSNs9FH-oUfMZfKAWGR8EYVZf1GG5EHrT9vLx6q-SciVZF22UsVVOE3Sv 0-Vne9BtJMtnGZ YxS33O6qmDhgeb57ldnmWQOk6K6waFM5XFq94SfJvpe 9ZLalQr2d9jr5JL-5qXRv3z5FBsfnCUNHGp2dJSzHIYeM8K&attredirects=0](http://www.thurgoland.org.uk/home/thurgoland)

³ <http://www.thurgoland.org.uk/home/thurgoland>

⁴ <http://www.thurgoland.org.uk/home/history>

⁵ Welcome to Holy Trinity church Thurgoland (document from the church)

[http://www.heritageinspired.org.uk/filedownload/\(WEB\)%20Thurgoland%20Holy%20Trinity.pdf](http://www.heritageinspired.org.uk/filedownload/(WEB)%20Thurgoland%20Holy%20Trinity.pdf)

⁶ The Buildings of England, Yorkshire and West Riding, Sheffield and the south, Ruth Harman and Nikolaus Pevsner (p667)

⁷ http://casualramblers.co.uk/wp-content/uploads/2013/02/Urban1_Thurgoland-Trail.pdf

⁸ file:///C:/Users/Tom/Downloads/AAH%20-%20Land%20to%20the%20east%20of%20Cote%20Lane%20Thurgoland%20-%20PPS%20and%20DAS%20with%20appendices.pdf

⁹ The Buildings of England, Yorkshire and West Riding, Sheffield and the south, Ruth Harman and Nikolaus Pevsner (p667)

¹⁰ <https://britishlistedbuildings.co.uk/101203764-holy-trinity-church-thurgoland#.W2lePShKgdU>

¹¹ The Buildings of England, Yorkshire and West Riding, Sheffield and the south, Ruth Harman and Nikolaus Pevsner (p667)

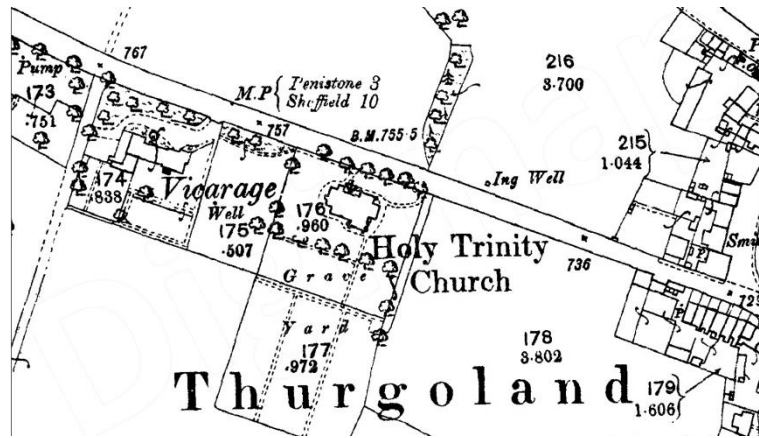


Fig 1.1 - Map from 1890s

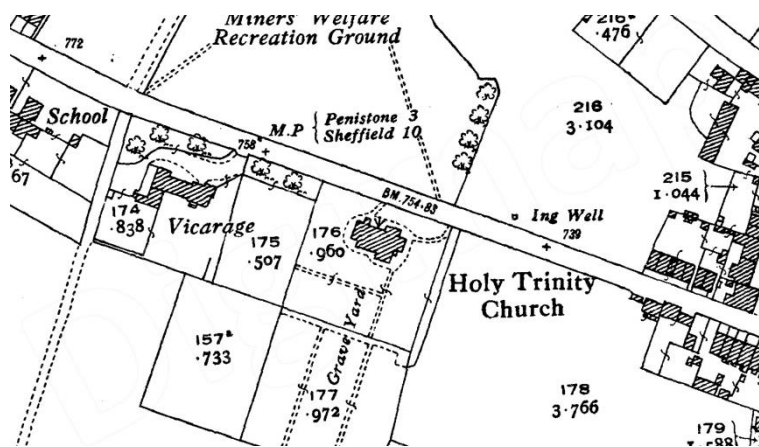
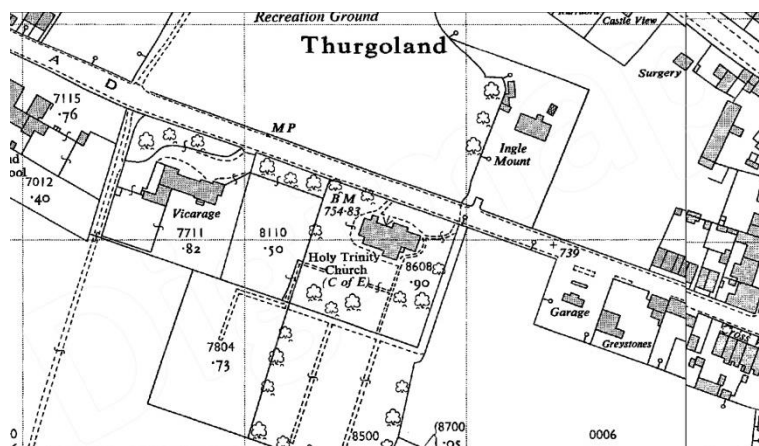


Fig 1.2 - Map from 1930s



Existing Facilities

- 1.15 There is presently a W/c on the North side of the East Vestry, which can only be accessed either by leaving the church through the North Porch and going around to the external Vestry door or by passing through the Chancel (up steps), into the Vicar's Vestry and down into the Vestry (via more steps). The former is not possible without that side door being left open, which would present a security concern during services and meetings. The latter, aside from the stepped access issues, means that visitors/worshippers must indiscreetly walk down to the front of the church and through the Vestries, presenting a security issue if available to everyday visitors having access. During services this causes embarrassment for those using the toilet.

There are no Baby-Changing facilities in the church at present.

The existing W/c is not accessible to wheelchairs (either through the church to get to it, or once inside) and the deterioration of the plaster walls makes the space unappealing to church visitors.

The location of the W/c is also not conducive to good safeguarding practises, whereby when schools or Messy Church meet within the building, a child is required to be taken to into the Vestry to use the W/c, potentially requiring two adults for safeguarding of the child and adult.

The 1930's Vestry had no toilet facilities, and in to 1970's or 80's (it is unclear exactly when) a cupboard was converted into a single stall flushable toilet. A hand washing sink was added in the main body of the Vestry around 10 years ago.

Needs:

- 1.16 The Church is used regularly for :-
Holy Communion and Morning Praise services
Weddings and Funerals (Baptisms usually occur during a Communion service)
Messy Church services.
Seasonal services with high attendance (Crib service, Christingle, Remembrance Sunday, Annual Memorial Service etc)
Meeting for other faith-based groups (Prayer Group, Mothers Union, Lent Group.
Thurgoland School celebration and leavers services and a whole week of Nativity plays.
Bi monthly daytime meetings under the auspices of the Community Action Group (a subset of the PCC) including The Beacon, (drop-in Café) and Singing4Fun.
All of these activities are at present hampered by the barely basic provision of toilet facilities, and we have some evidence that individuals do not use the Church purely for this reason.

The present submission to the DAC (prior to Faculty) would allow us to provide a discreet, modern, toilet facility which is accessible by a wheelchair user, with the added benefit of a dedicated space to allow nursing mothers to change their babies safely.

We have considered as a congregation and a PCC whether the provision of a refreshment preparation area at the North West corner (rear) of the Church should be included in this application. We have decided not to proceed with this at this time, but as our application does involve the provision of services (fresh water, drainage, electricity) to the North East corner it would seem to be good stewardship to add these services at both areas. Our architect has amended the plans accordingly.

2.0 Proposals

- 2.1 Several options for the provision of a Disabled W/c were considered (Appendix A) for the incorporation of improved W/c facilities within the West end of the Church as set out subsequently, with approximate costings. The provision of W/c facilities to the East end has been considered but would be entirely counter-productive and fail to meet the desired purposes of providing accessible facilities.

Following a meeting on site with DAC Representatives, it was concluded that the favoured option by the Church and Architect was also considered by the DAC as the preferable option as it did not prejudice future aspirations and usability of the church, nor did it result in any harm to the historic structure.

Several additional options were proposed by the DAC, some of which have subsequently been incorporated in the proposals, including the integration of power, water and drainage in the North-West corner for a future possible Kitchenette and the relocation of several plaques and memorial boards.

Other suggestions, not incorporated into the proposals, include works to the children's corner, removal of the back pews and the introduction of a Kitchenette, but the Church acknowledge that all are good ideas and may be undertaken in the future; however, they feel that driving the W/c project forward as soon as possible to be a priority.

- 2.2 Subsequently described **Option 1** is the favoured solution by the Church and DAC. This includes the formation of a new extension to the West end of the South Aisle, to create a disabled and accessible w/c. A new opening will be formed through the South wall of the West end of the Nave into the extension, with a new arched stone surround to reflect the Porch door opposite.

The other options considered are included subsequently in Appendix A to illustrate the process undertaken to date, to arrive at the favoured option.

2.3 **Option 1** - Installation of an external Disabled W/c in a single storey extension outside the South-West corner of the existing exterior walls, in the angle between the South of the Nave and the West of the South Aisle.

An arched opening would be required to be formed through the existing external South Nave wall and the existing (former Baptistry) window to the Children's Corner in the South Aisle will be blocked in on the W/c side and back-lit so that it retains its appearance as a window from inside.

On the West wall of the new W/c a recess in the shape of the window will be included to retain an element of the original South Aisle West elevation. The footprint of the extension would be approximately 6.6m², set back from the West elevation by 430mm to retain the recessive appearance in comparison to the West Nave wall and from the South elevation by 100mm, simply to achieve a good weatherproofing and detailing at the junction with the existing masonry. The existing plinth would be continued around the new extension and all materials would be in-keeping with the existing stonework.

This option would not be seen from the street and would have a minimal impact on the existing interior arrangement of the church. Also, the large space at the back of the nave would be maintained.

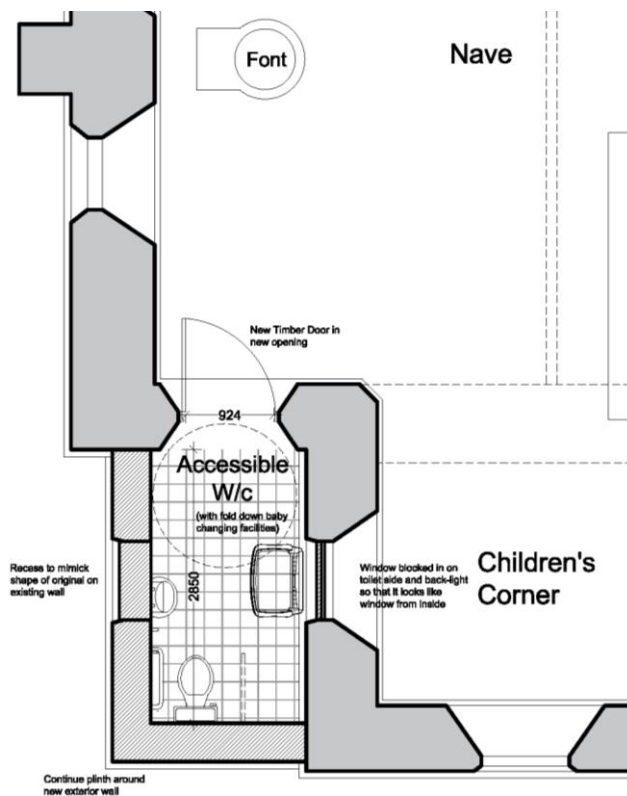


Fig 2.1 - Proposed Option 1

2.4 OPTION 1 Approximate Costings:

Excavations:	Foundations:	5.5m @ £60/m	=	£ 330.00
	Floor:	6.5m ² @ £100/m ²	=	£ 650.00
	Drains:	40m @ £50/m	=	£ 2,000.00
Demolition:	Form New Opening:	PC Sum:	=	£ 1,500.00
Concreting:	Foundations:	5.5m @ £50/m	=	£ 275.00
	Floor Blinding:	6.5m ² @ £50/m ²	=	£ 325.00
Walls:	Basic Masonry:	5.5m @ £800/m	=	£ 4,400.00
	Dressed Stone:	PC Sum:	=	£ 750.00
	Door Stonework:	PC Sum:	=	£ 3,000.00
Plastering:		10m @ 100/m ²	=	£ 1,000.00
Floor:	Timber Floor:	6.5m ² @ £100/m ²	=	£ 650.00
	Floor Finishes:	PC Sum:	=	£ 500.00
Roof:	Timber structure:	7m ² @ £120/m ²	=	£ 840.00
	Roof Cover:	7m ² @ £150/m ²	=	£ 1,050.00
	Flashings:	PC Sum:	=	£ 300.00
	Rainwater Goods:	PC Sum:	=	£ 800.00
Door:	Timber door:	PC Sum:	=	£ 900.00
Electrics:		PC Sum:	=	£ 1,500.00
Plumbing:	Labour:	PC Sum:	=	£ 1,200.00
	Drainage Run:	40m @ £20/m	=	£ 800.00
	Resurfacing: *	40m @ £30/m	=	£ 1,200.00
	New Water Supply:	PC Sum:	=	£ 1,500.00
Fixtures & Fittings:		PC Sum:	=	£ 1,200.00
Total:			=	£ 26,670

Add 10% Contingency: = £ 2,670

Add Prelims: Say: = £ 5,000

Total: = £ 34,340

Excluding fees & VAT

3.0 Conclusions:

- 3.1 We have not investigated in depth the option of installing/upgrading the W/c to the East end of the Church as it will result in level access problems and would also require users to walk to the front of the church to use the W/c, neither of which would be an improvement on present arrangements.
- 3.2 A separate W/c, in an independent building, within the Churchyard (or improved access to the East Vestry W/c) has been discounted on the grounds of safeguarding and security issues as well as achieving adequate drainage provisions through the churchyard.
- 3.3 **Our favoured solution is Option 1, for which we seek Planning Permission.** The advantages of Option 1 are the lack of interference with the interior arrangements and proportions of the church, by simply forming an opening in the South Nave wall. There would be a small amount of historic fabric lost in forming the opening, but if detailed correctly and with well-formed stone reveals, it would look in-keeping with the church. The A/V desk would be required to be relocated.

Externally, Option 1 has the most visual impact in so far as it is in-filling the internal angle between the Nave and the South Aisle; however, that is in a discreet location and does not impact on the principal aspects of the church from the outside. Internally, the door will be designed to reflect the nature of the Porch door and aside from the loss of historic fabric in forming the door will not have a negative impact on the interior of the church.

The drainage to the W/c (and a possible future Kitchenette) will be required to be formed within the churchyard. This will require the involvement of an Archaeologist. We believe that connection into the existing drain, by way of a new drainage run beneath the footpaths (or close to) is the most desirable option.

Tom Crooks
& Suzanne Johnsen
3rd September 2018
Revised 10th October 2019
Revised 21st November 2019

APPENDIX A – ALTERNATIVE OPTIONS CONSIDERED

A.1 **Option 2** - Installation of a Disabled W/c within the existing footprint of the church, on the West side of the South Aisle in the position of the current Children’s Area/former Baptistry. The two existing windows would provide light into the W/c. The proposal below includes a curved wall that provides access into the South Aisle and a panelled sliding door into the lobby area of the WC. This area would provide some sound insulation and hide the entrance to the W/c from the church, hence making it more discreet. On the North wall of the WC, shelving could be included in the curved wall or it could be a cupboard for storage.

In this option, there would be no changes made to the existing fabric of the church but the Children’s area would have to relocate.

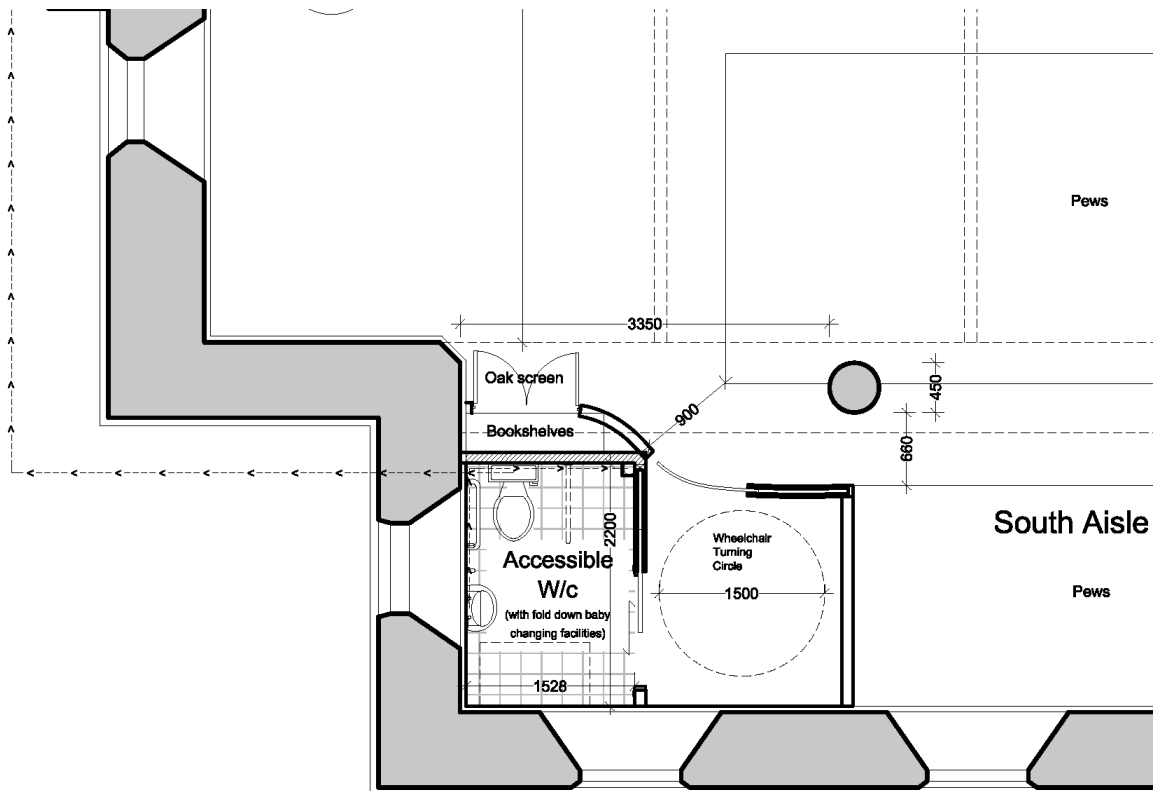


Fig 2.2 - Proposed Option 2

A.2 OPTION 2 Approximate Costings:

Stripping Out:		PC Sum:	=	£ 500.00
Excavation:	Drains:	40m @ £50/m	=	£ 2,000.00
	Form Openings:	PC Sum:	=	£ 1,500.00
Floor:	Floor Covering:	8m ² @ £20/m ²	=	£ 160.00
	Floor Finishes:	PC Sum:	=	£ 750.00
Timber Screen:		PC Sum	=	£ 6,000.00
Studwork Partitions: <i>(inc. oak skirtings etc.)</i>		4m @ £200/m	=	£ 800.00
Plastering:	Skimming:	8m @ 100/m ²	=	£ 800.00
Door:	Sliding doors:	PC Sum:	=	£ 1,500.00
Ceiling:	Timber structure:	8m ² @ £120/m ²	=	£ 960.00
Electrics:		PC Sum:	=	£ 1,500.00
Plumbing:	Labour:	PC Sum:	=	£ 1,800.00
	Drainage Run	42m @ £20/m	=	£ 840.00
	New Water Supply:	PC Sum:	=	£ 1,500.00
	Resurfacing: *	40m @ £30/m	=	£ 1,200.00
Fixtures & Fittings:		PC Sum:	=	£ 1,500.00
Total:			=	£ 23,310
Add 10% Contingency:			=	£ 2,330
Add Prelims: Say:			=	£ 4,000
Total:			=	£ 29,640

Excluding fees & VAT

A.4 **Option 3** - Installation of a Disabled W/c, and Meeting Room in the West section of the Nave. In this option the Disabled W/c is closer to the Porch but hidden from view by bookshelves/hymnal storage. While the size of the W/c would be slightly smaller than current regulations recommend, it could be reduced to allow the original stone Font to remain in its current position. However, a 1.5m turning circle cannot be maintained with the Font retained in that position.

The Meeting Room/Creche would have glass panels towards the Nave and would therefore not detract from the existing fabric behind it while allowing for transparency and providing a sound insulated room. The two windows in the West wall of the Nave would not be blocked by the proposed rooms since they positioned high up.

Allowing the circulation to flow around the Font would still allow access to the historical plaques that can be found behind it.

The circulation in the Nave would not be impeded by this improved use of space. No changes would need to be made to the existing fabric of the church but the large space at the back of the Nave would feel smaller and more subdivided.

The Font could be moved forward if desired.

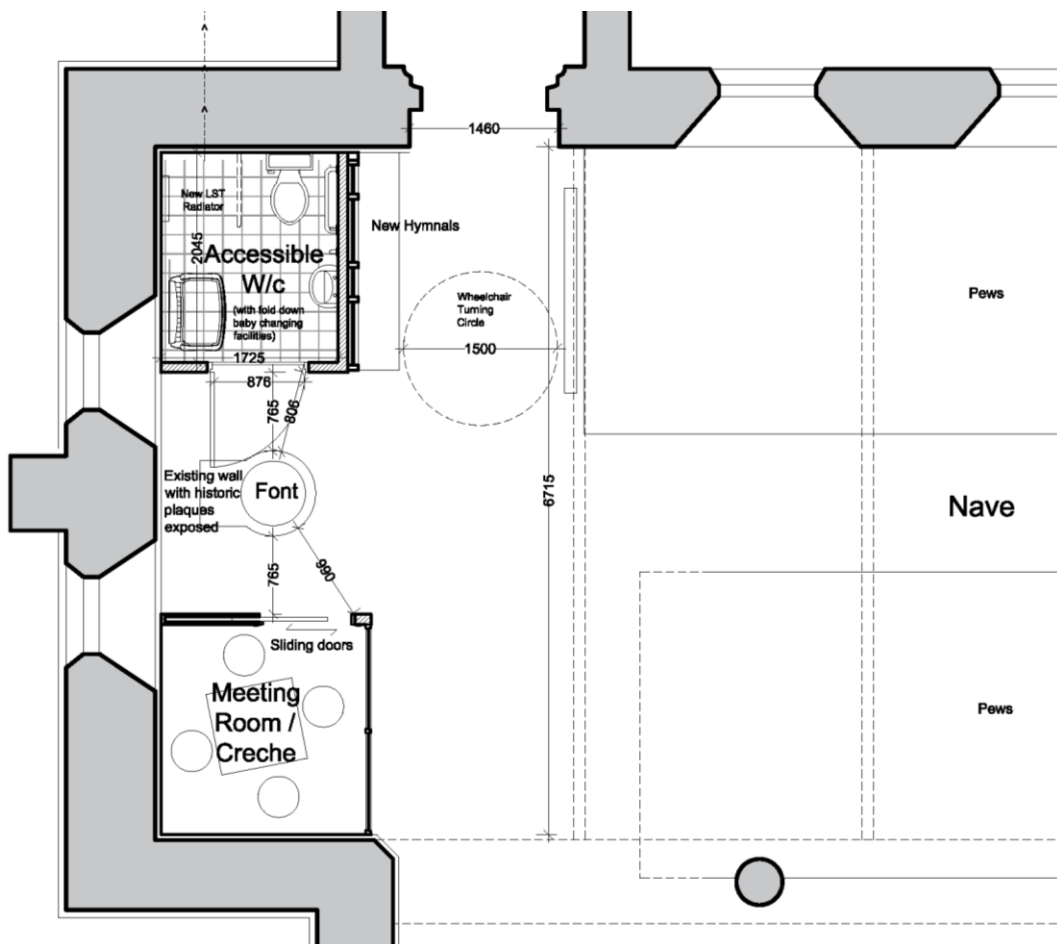


Fig 2.3 - Proposed Option 3

A.5 OPTION 3 Approximate Costings:

Stripping Out:		PC Sum:	=	£ 200.00
Excavation:	Drains:	25m @ £50/m	=	£ 1,250.00
	Form Openings:	PC Sum:	=	£ 1,500.00
Floor:	Floor Covering:	9m ² @ £20/m ²	=	£ 180.00
	Floor Finishes:	PC Sum:	=	£ 1,000.00
Studwork Partitions: <i>(inc. oak skirtings etc.)</i>		6m @ £200/m	=	£ 1,200.00
Ceiling:	Timber structure:	9m ² @ £120/m ²	=	£ 1,080.00
Plastering:	Skimming:	17m @ 70/m ²	=	£ 1,190.00
Glazed Screen:		PC Sum	=	£ 2,000.00
Doors:	Sliding door:	PC Sum:	=	£ 750.00
	W/c Door:	PC Sum:	=	£ 350.00
Electrics:		PC Sum:	=	£ 2,000.00
Plumbing:	Labour:	PC Sum:	=	£ 1,800.00
	Drainage Run	25m @ £20/m	=	£ 500.00
	New Water Supply:	PC Sum:	=	£ 1,500.00
	Resurfacing: *	25m @ £30/m	=	£ 750.00
Fixtures & Fittings:		PC Sum:	=	£ 5,500.00
<hr/>			Total:	= £ 22,750
			Add 10% Contingency:	= £ 2,280
			Add Prelims: Say:	= £ 4,000
<hr/>			Total:	= £ 29,030
<i>Excluding fees & VAT</i>				

A.7 **Option 4a** – Much like Option 3 but with different layout of the rooms and a Kitchenette provided instead of a meeting room. In this option the size of the WC would be slightly substandard, but again it would allow the original stone Font to possibly remain in its current position, although the 1.5m turning circle could still not be achieved immediately outside it. The Kitchenette would be open for accessibility and receive some light from the existing window. The two windows in the West wall of the Nave would not be blocked by the proposed rooms due to their height.

Again, the circulation in the Nave would not be impeded by this improved use of space. No changes would need to be made to the existing fabric of the church but the large space at the back of the Nave feel smaller and more subdivided.

The Font, in this location, would also feel “over-crowded” and somewhat lost in the arrangement.

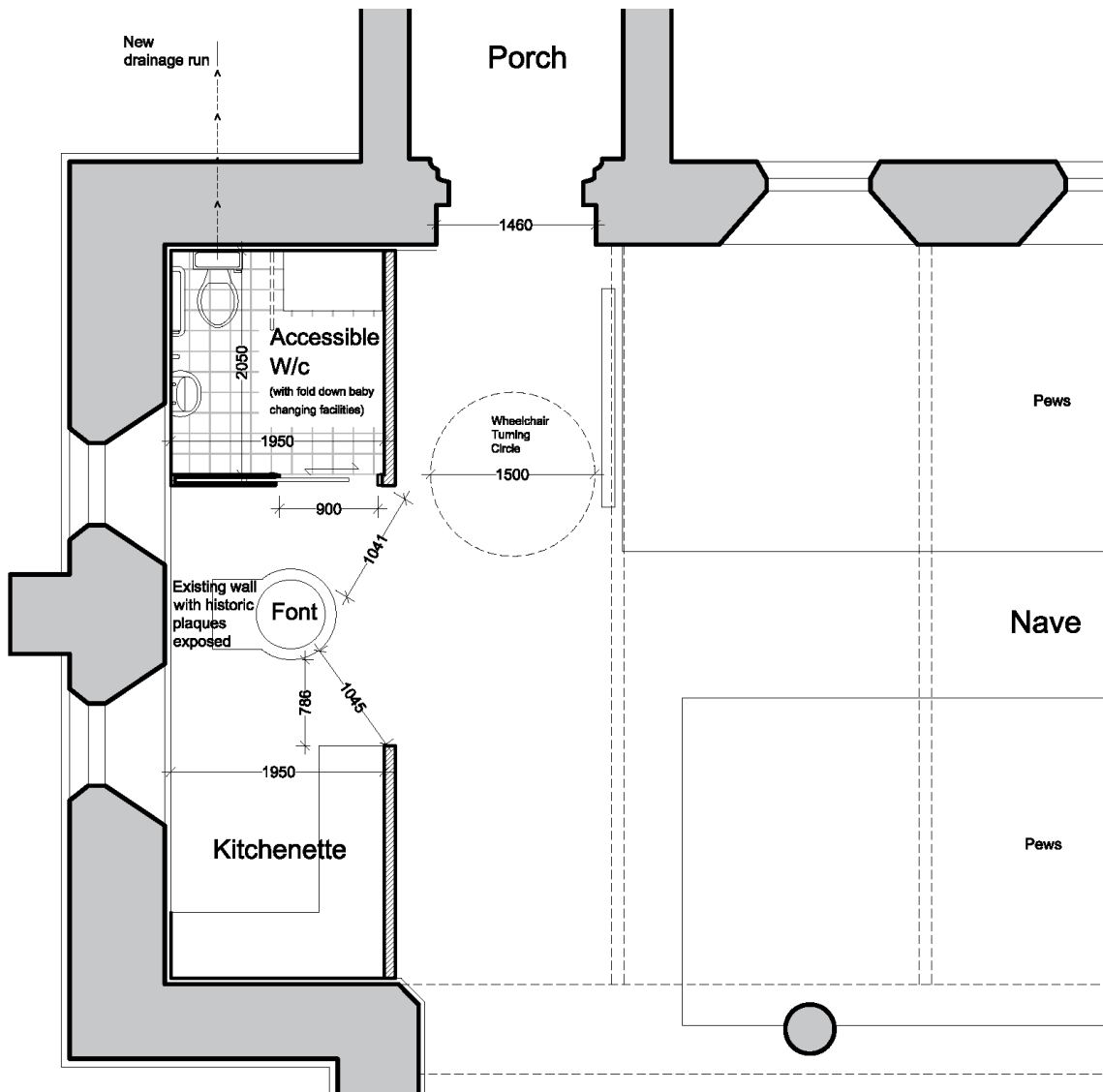


Fig 2.4 - Proposed Option 4a

A.8 OPTION 4a Approximate Costings:

Stripping Out:		PC Sum:	=	£ 200.00
Excavation:	Drains:	42m @ £50/m	=	£ 2,100.00
	Form Openings:	PC Sum:	=	£ 1,500.00
Floor:	Floor Covering:	9m ² @ £20/m ²	=	£ 180.00
	Floor Finishes:	PC Sum:	=	£ 1,000.00
Studwork Partitions: <i>(inc. oak skirtings etc.)</i>		4.5m @ £200/m	=	£ 900.00
Plastering:	Skimming:	9m @ 70/m ²	=	£ 630.00
Ceiling:	Timber structure:	4.5m ² @ £120/m ²	=	£ 540.00
Doors:	Sliding door:	PC Sum:	=	£ 750.00
Electrics:		PC Sum:	=	£ 2,000.00
Plumbing:	Labour:	PC Sum:	=	£ 1,800.00
	Drainage Run	25m @ £20/m	=	£ 500.00
	New Water Supply:	PC Sum:	=	£ 1,500.00
	Resurfacing: *	25m @ £30/m	=	£ 750.00
Fixtures & Fittings:		PC Sum:	=	£ 6,500.00
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		Total:	=	£ 20,850
		Add 10% Contingency:	=	£ 2,090
		Add Prelims: Say:	=	£ 4,000
<hr/>				
		Total:	=	£ 26,940
		<i>Excluding fees & VAT</i>		

A.10 **Option 4b** - Much like Option 4a but with the relocation of the Font back to its original position in the Baptistry (Currently Children's Corner). While having all the benefits of the previous option, there would be more space between the WC and the Kitchenette which would make it more accessible and allow for a slightly increased W/c that would be in line with the wall of the Kitchenette. The original plaques on the wall would be easier to see without having to go around the Font.

No changes would need to be made to the existing fabric of the church but the large space at the back of the Nave feel smaller although less subdivided than in Option 4a.

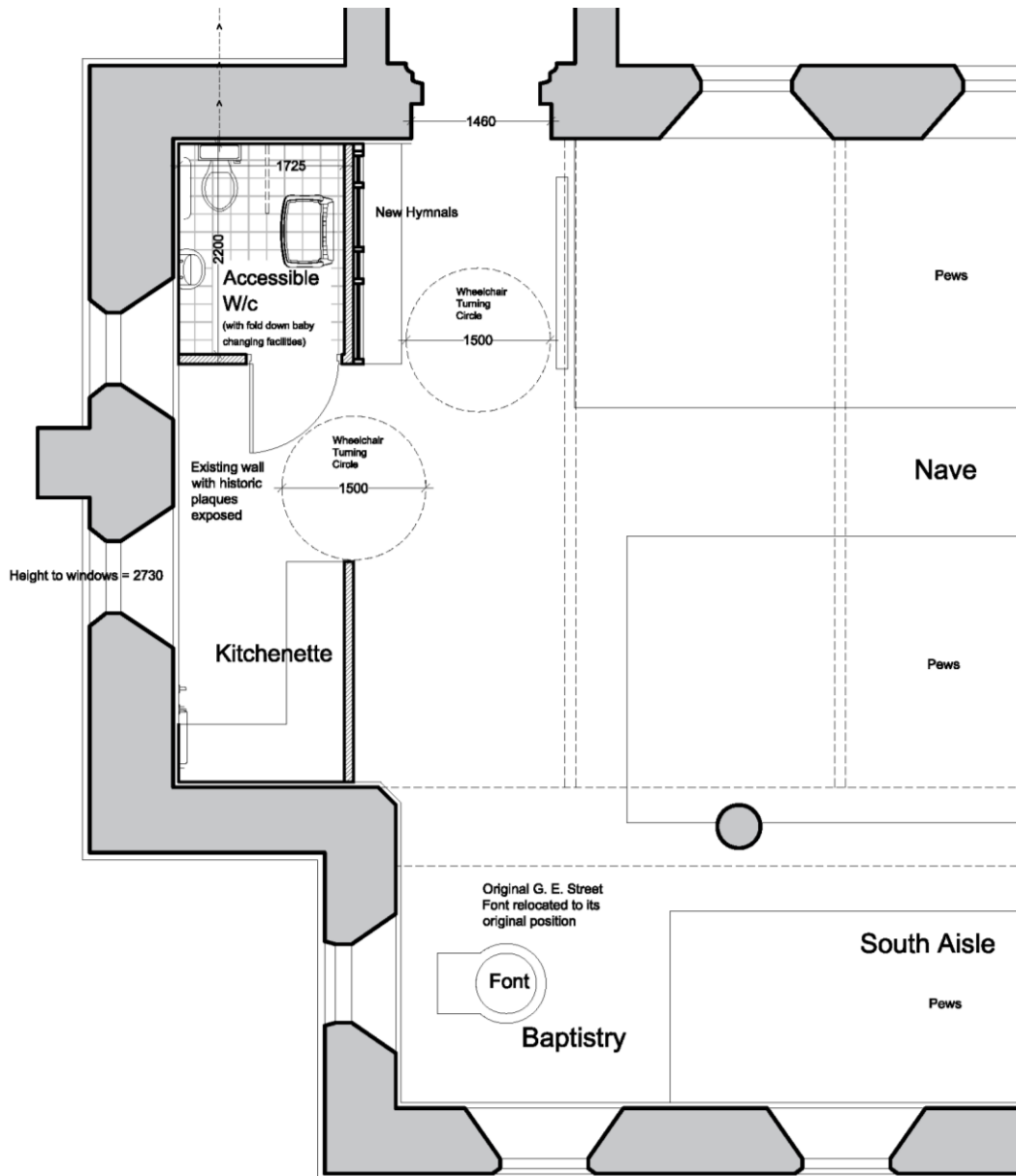


Fig 2.5 - Proposed Option 4b

A.11 OPTION 4b Approximate Costings:

Stripping Out:		PC Sum:	=	£ 200.00
Excavation:	Drains:	42m @ £50/m	=	£ 2,100.00
	Form Openings:	PC Sum:	=	£ 1,500.00
Floor:	Floor Covering:	9m ² @ £20/m ²	=	£ 180.00
	Floor Finishes:	PC Sum:	=	£ 1,000.00
Studwork Partitions: <i>(inc. oak skirtings etc.)</i>		4.5m @ £200/m	=	£ 900.00
Plastering:	Skimming:	15m @ 70/m ²	=	£ 900.00
Ceiling:	Timber structure:	4.5m ² @ £120/m ²	=	£ 540.00
Plastering:		4.5m @ 100/m ²	=	£ 450.00
Doors:	Sliding door:	PC Sum:	=	£ 750.00
Electrics:		PC Sum:	=	£ 2,000.00
Plumbing:	Labour:	PC Sum:	=	£ 1,800.00
	Drainage Run	25m @ £20/m	=	£ 500.00
	New Water Supply:	PC Sum:	=	£ 1,500.00
	Resurfacing: *	25m @ £30/m	=	£ 750.00
Fixtures & Fittings:		PC Sum:	=	£ 6,500.00
Relocate Font:		PC Sum:	=	£ 1,600
		Total:	=	£ 23,170

Add 10% Contingency: = £ 2,320

Add Prelims: Say: = £ 4,500

Total: = £ 29,990

Excluding fees & VAT
