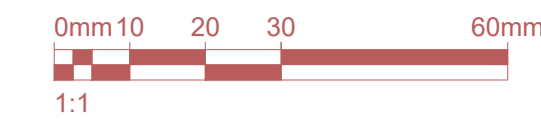
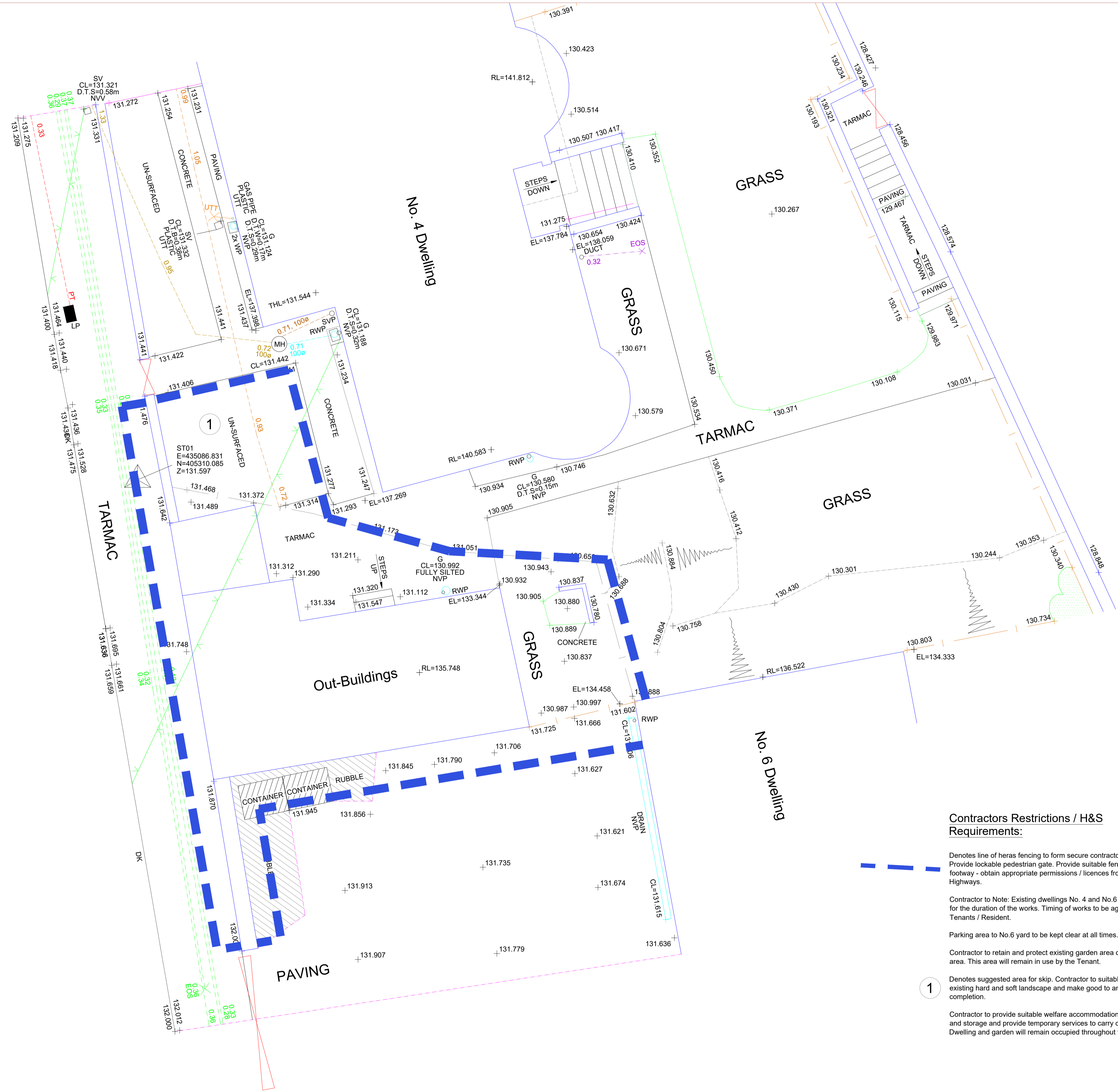


DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR. REPORT ANY DISCREPANCIES TO DRAWING AUTHOR AND PROPERTY SERVICES TEAM. DRAWING OR CONTENTS SHOULD NOT BE DUPLICATED WITHOUT PRIOR CONSENT.



DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DOCUMENTS INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, SCHEDULES



NOTES



**Contractors Restrictions / H&S Requirements:**

-  Denotes line of heras fencing to form secure contractors compound. Provide lockable pedestrian gate. Provide suitable fencing to adopted footway - obtain appropriate permissions / licences from BMBC Highways.
- Contractor to Note: Existing dwellings No. 4 and No.6 will be occupied for the duration of the works. Timing of works to be agreed with Tenants / Resident.
- Parking area to No.6 yard to be kept clear at all times.
- Contractor to retain and protect existing garden area outside of work area. This area will remain in use by the Tenant.
-  Denotes suggested area for skip. Contractor to suitably protect existing hard and soft landscape and make good to any damage at completion.
- Contractor to provide suitable welfare accommodation (welfare van) and storage and provide temporary services to carry out the works. Dwelling and garden will remain occupied throughout the works.

P1	First Issue	29/04/24	MJY
Rev	Notes	Date	Issued By



SERVICE  
Berneslai Homes

PROJECT  
4 Upper Sheffield Road - Demolition of Out-Buildings / Boundary Wall Works

TITLE  
Existing Site Plan

PROJECT REF 4 UppSheffRd	DRAWING REFERENCE 002	REV P1
SCALE 1:50	DISCIPLINE ARCHITECTURE	SHEET SIZE A1
PURPOSE OF ISSUE PRELIMINARY	Drawn MJY	Checked XX