

2024/0116

Mr Luke Maw

Erection of agricultural building (Prior Approval Agricultural)

Westfield Hose Farm, Brockholes Lane, Cubley, S36 9FB

Background

- 2023/0668 - Conversion and extension/alteration of existing stables to form dwelling – Approved with conditions
- 2021/0453 - Change of use of agricultural Barn to Class B1 use (now Class E) - Approved with conditions
- 2019/0614 - Formation of horse-riding arena – Approved with conditions
- 2016/0420 - Roofing over of agricultural store for use for cattle feed and hay (Prior Notification) – Prior Approval not required
- 2016/0419 - Erection of a new additional bay to existing barn for beef rearing.- Approved with conditions
- 2015/0529 - Conversion of stable block into 1 no. dwellinghouse (Resubmission of 2014/0521) – Approved with conditions
- 2014/0521 - Conversion of existing stables to dwelling – Approved with conditions
- 2013/0480 - Erection of 1 no. 50Kw wind turbine on a 25m monopole mast – Approved with conditions
- 2010/0515 - Change of use of part of barn from agriculture to farm product sales unit – Approved with conditions
- 2009/0452 - Construction of a new access – Approved with conditions
- 2008/1205 - Construction of a new access (resubmission – Refused and appeal dismissed
- 2007/1490 - Formation of new access road – Refused
- 2000/1219 - Formation of Riding Arena – Approved

Description

Westfield House Farm is a well-established farm which has been operating from the site on Brockholes Lane for over 55 years and covers an area of over 40ha of land. The main farmyard contains a number of large agricultural buildings. The site is accessed from an existing access off Brockholes Lane. The site itself is located directly adjacent to the large farm buildings, is an area of hardcore currently used for hay storage.

Proposed Development

The applicant is seeking prior approval for the erection of an agricultural barn. The proposal will be located on an existing outdoor, hardcore, bale storage area. The applicant states that their aim is to reduce using plastic bale wrap, which will help to reduce the businesses carbon footprint. The proposed building will be used to store unwrapped hay, straw and home-grown grain. The building will also be used to store agricultural machinery.

The building will measure 30m x 15m, 4.5m to the eaves and 7m to the ridge. The building will be located on existing hardstanding close to the existing farm buildings. The proposal will be constructed with concrete panel walls with dark green cladding box profile steel sheets to the side elevations similar to the existing buildings, and will have a fibre cement grey roof.



Policy Context

Local Plan

Local Plan Policy GB1 – Protection of Green Belt

General Permitted Development Order – Prior Approval Procedure

Part 6, Class A

Agricultural and Forestry on units of 5 hectares or more

Part 6, section A of the GPDO allows for the 28 day prior notification procedure for the erection of agricultural buildings and extensions for agricultural units of over 5 hectares.

Permitted development

A. The carrying out on agricultural land comprised in an agricultural unit of 5 hectares or more in area of—

- (a) works for the erection, extension or alteration of a building; or
- (b) any excavation or engineering operations, which are reasonably necessary for the purposes of agriculture within that unit.

Development not permitted

A.1 Development is not permitted by Class A if—

- (a) the development would be carried out on a separate parcel of land forming part of the unit which is less than 1 hectare in area;
- (b) it would consist of the erection or extension of any agricultural building on an established agricultural unit (as defined in paragraph X of Part 3 of this Schedule) where development under Class Q or S of Part 3 (changes of use) of this Schedule has been carried out within a period of 10 years ending with the date on which development under Class A(a) begins; (c) it would consist of, or include, the erection, extension or alteration of a dwelling;
- (d) it would involve the provision of a building, structure or works not designed for agricultural purposes;
- (e) the ground area which would be covered by—
 - (i) any works or structure (other than a fence) for accommodating livestock or any plant or machinery arising from engineering operations; or
 - (ii) any building erected or extended or altered by virtue of Class A, would exceed 465 square metres 1,000 square metres, calculated as described in paragraph D.1(2)(a) of this Part;
- (f) the height of any part of any building, structure or works within 3 kilometres of the perimeter of an aerodrome would exceed 3 metres;
- (g) the height of any part of any building, structure or works not within 3 kilometres of the perimeter of an aerodrome would exceed 12 metres;
- (h) any part of the development would be within 25 metres of a metalled part of a trunk road or classified road;
- (i) it would consist of, or include, the erection or construction of, or the carrying out of any works to, a building, structure or an excavation used or to be used for the accommodation of livestock or for the storage of slurry or sewage sludge where the building, structure or excavation is, or would be, within 400 metres of the curtilage of a protected building;
- (j) it would involve excavations or engineering operations on or over article 2(4) land which are connected with fish farming; or
- (k) any building for storing fuel for or waste from a biomass boiler or an anaerobic digestion system—
 - (i) would be used for storing waste not produced by that boiler or system or for storing fuel not produced on land within the unit; or
 - (ii) is or would be within 400 metres of the curtilage of a protected building.

Subject to conditions

Consultations

None

Representations

Given the application is for prior notification and is simply to establish if the proposal meets the criteria in part 6 of the General Permitted Development Order, no consultation with neighbouring residents is required.

Assessment

The site lies within an area allocated as Green Belt. The NPPF states that new buildings are inappropriate with the Green Belt, however, paragraph 154 sets out exceptions to this which includes buildings for agriculture and forestry. In this instance the building is for agricultural use and is therefore acceptable in principle subject to design, size and location.

This application is a prior notification for an agricultural storage building, as such, agricultural buildings are permitted development where it meets the criteria set out in part 6 of the GPDO. The prior notification procedure allows the local authority to request the prior approval for the siting, design and external appearance of the building in the form of a Planning Application if necessary.

The proposed building is located within an agricultural unit which exceeds 5Ha in total, as such, part 6, class A is appropriate. The building would be over 50m from the neighbouring highway and would be viewed amongst the existing buildings which are of a similar footprint to the proposal. The building will be erected in similar materials to the adjacent buildings with concrete panel walls and dark green side cladding and would therefore be sympathetic to the immediately adjacent buildings in its rural context.

The proposal is therefore considered acceptable in terms of siting and materials. The proposal meets the requirements of Part 6 of the GPDO, subject to the conditions set out in paragraph A.2. The building is purpose-built which is acceptable in terms of the impact on the openness of the Green Belt.

Recommendation

Prior approval granted subject to standard condition.