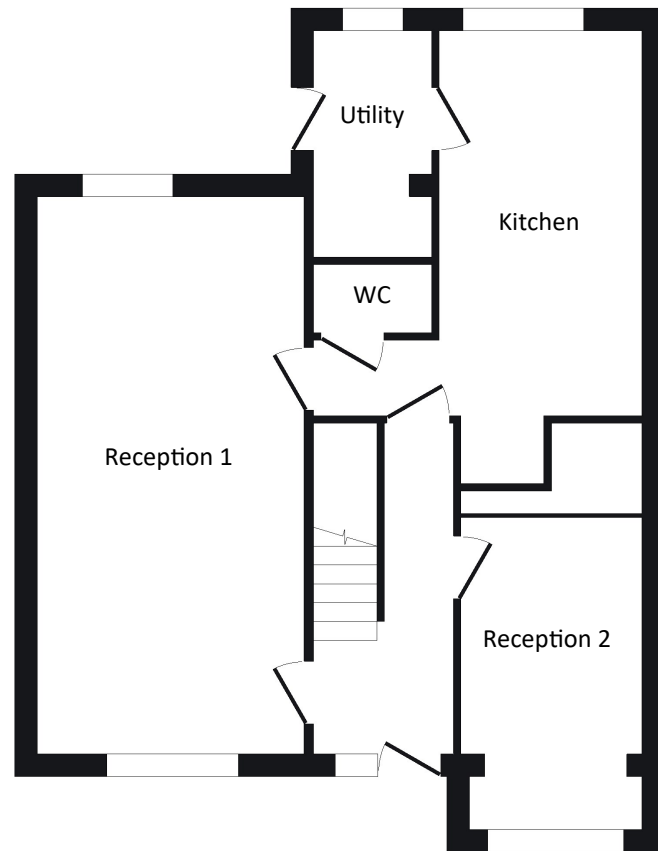


D1. CURRENT

As of 1st April 2022

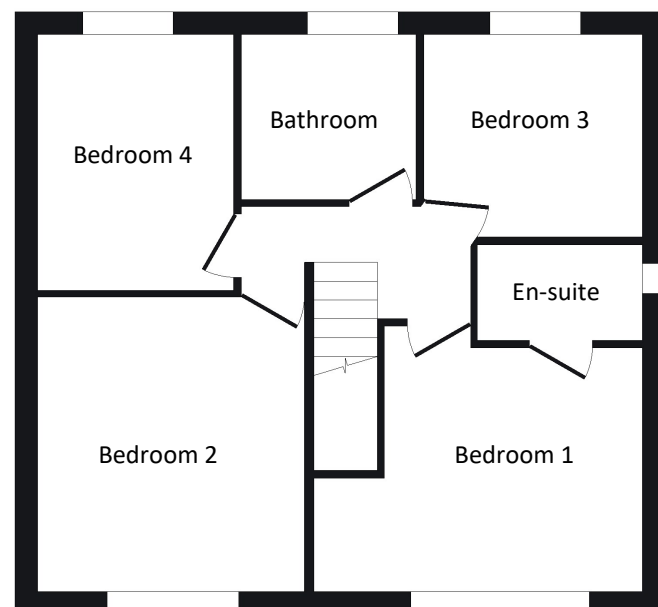
CURRENT GROUND FLOOR

Scale 1:100



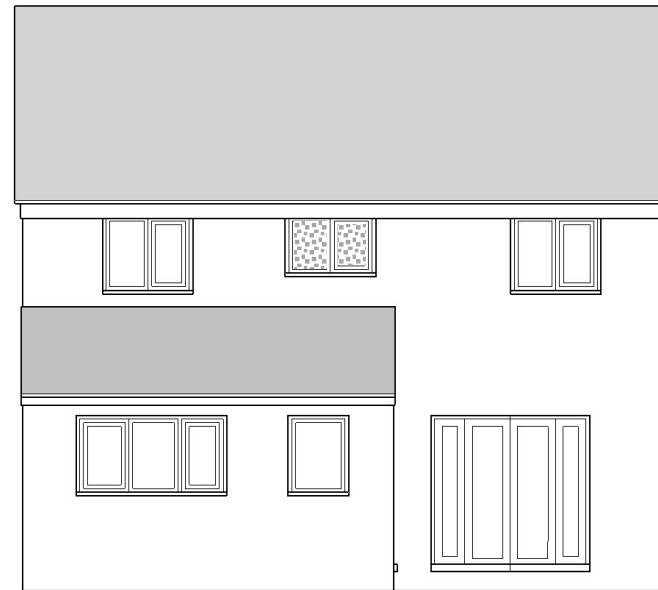
CURRENT FIRST FLOOR

Scale 1:100



CURRENT EAST ELEVATION - REAR FACING

Scale 1:100



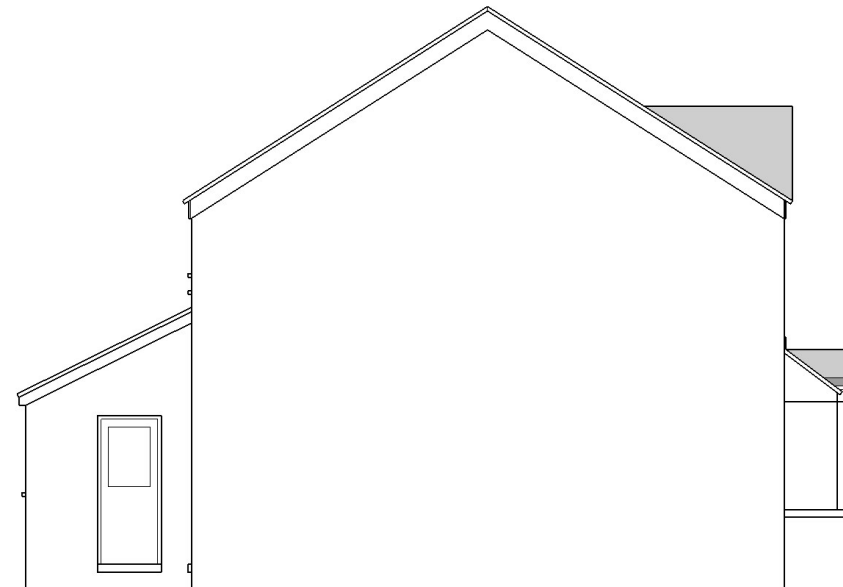
CURRENT WEST ELEVATION - ROAD FACING

Scale 1:100



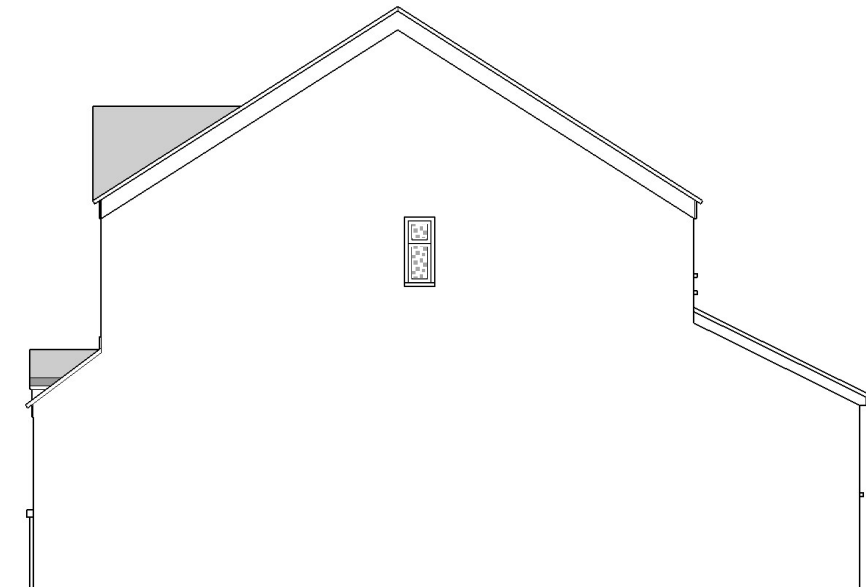
CURRENT NORTH ELEVATION

Scale 1:100



CURRENT SOUTH ELEVATION

Scale 1:100



NOTES:

Current plans and elevations of the property (as of 01/04/22) to be compared with any site visit. Work has been granted to raise the ridgeline and add roof-lights (see D2) but this work has yet to commence.

Wentworth View 57 Wentworth Road, Blacker Hill, Barnsley, S74 0RP

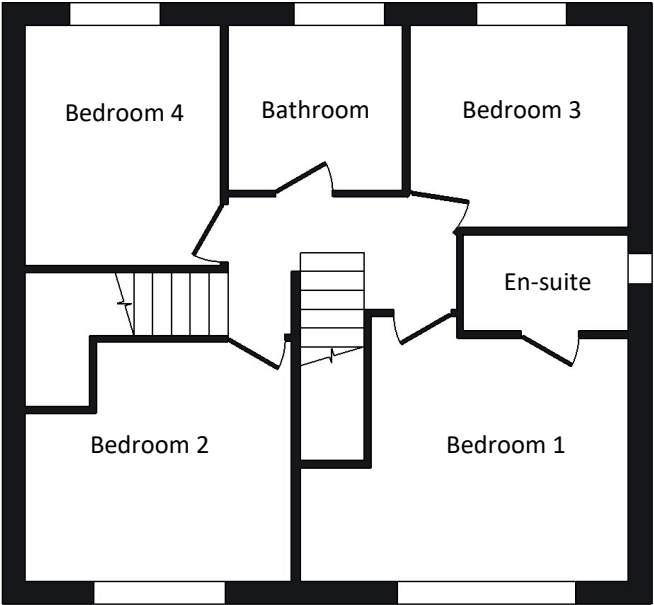
Current Elevations and Floor Plans

D2. GRANTED (14/02/22)

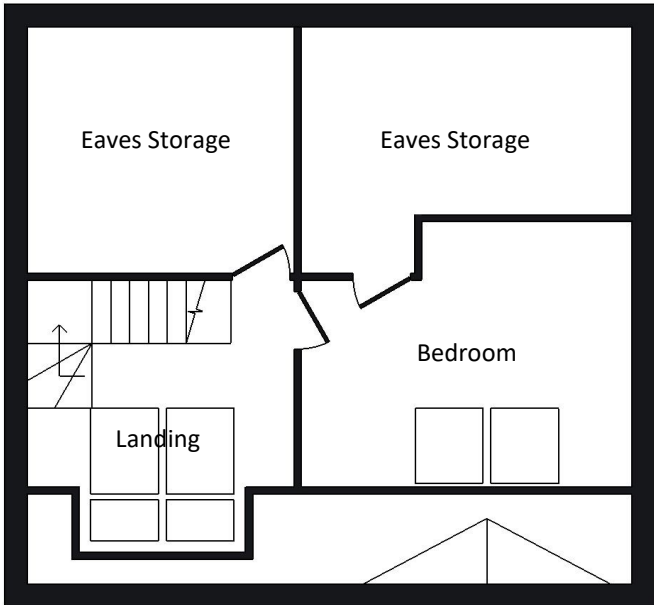
Application 2021/1703

APPLICATION 2021/1703 GROUND FLOOR - UNCHANGED
SEE CURRENT GROUND FLOOR PLAN

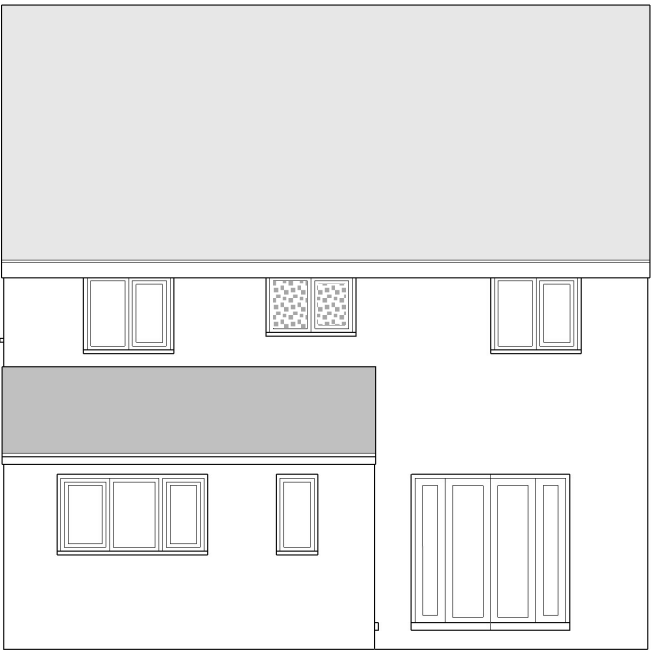
APPLICATION 2021/1703 FIRST FLOOR
Scale 1:100



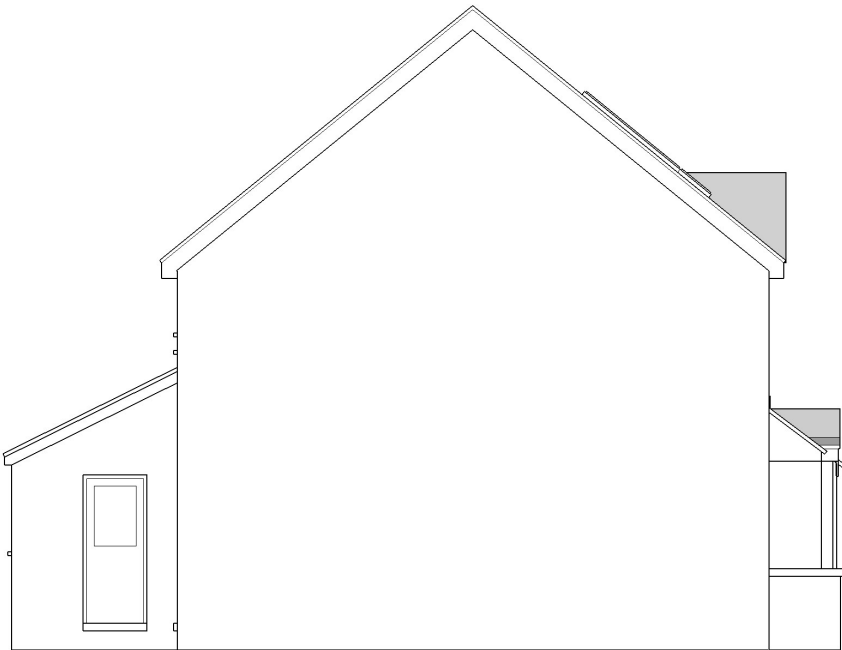
APPLICATION 2021/1703 SECOND FLOOR
Scale 1:100



APPLICATION 2021/1703 EAST ELEVATION - REAR FACING
Scale 1:100



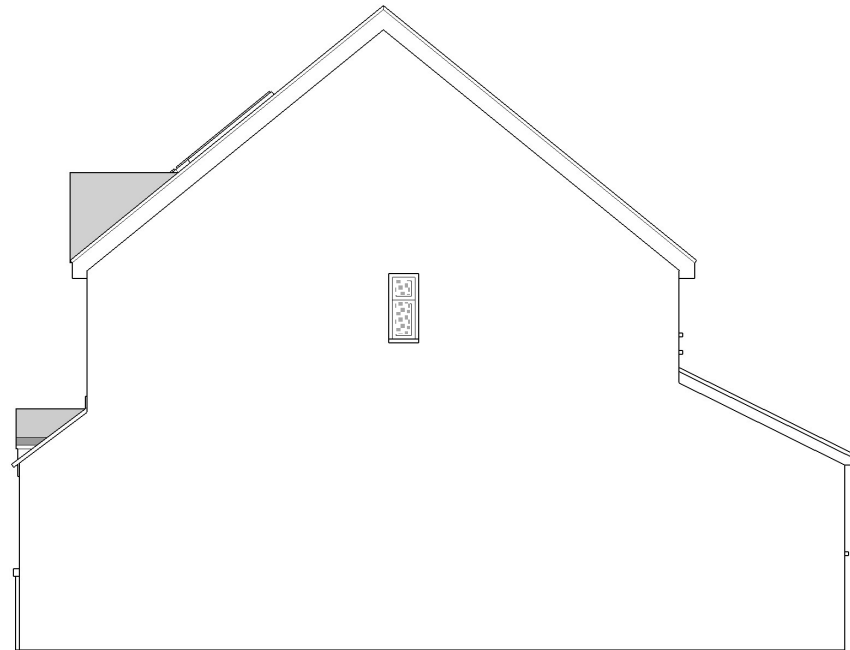
APPLICATION 2021/1703 NORTH ELEVATION
Scale 1:100



APPLICATION 2021/1703 WEST ELEVATION - ROAD FACING
Scale 1:100



APPLICATION 2021/1703 SOUTH ELEVATION
Scale 1:100



APPLICATION 2021/1703

These plans were granted on 14/02/22, but as of 01/04/22 work has yet to commence.
Plans involve raising the ridgeline of the roof by approximately 900mm, with the addition of roof-lights to the road-facing elevation only.
Interior layout maximises the useable roof space.

NOTES:

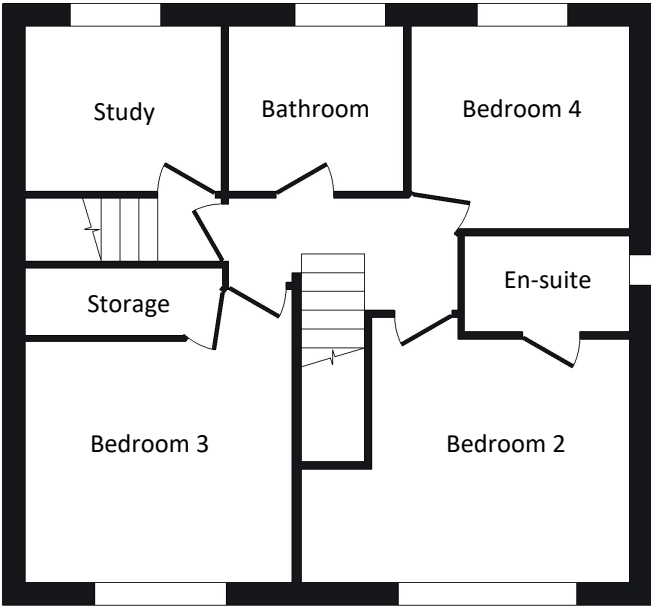
Final as-built dimensions and roof angle to suit brick dimensions.
All structural and interior work to be carried out in accordance with Building Regulations required to convert the attic into a liveable space, with necessary inspection and approval from Building Control. Any supporting steels and Wood Trusses used in construction to have appropriate calculations to ensure structural stability.

Wentworth View 57 Wentworth Road, Blacker Hill, Barnsley, S74 0RP
Elevations and Floor Plans as per Application 2021/1703 (Granted 14/02/22)

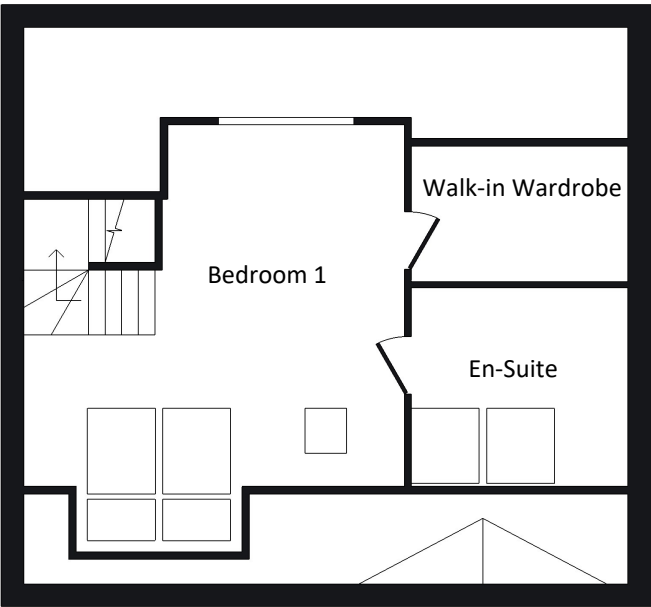
D3. PROPOSED ADDITIONS

GROUND FLOOR - **UNCHANGED**
SEE CURRENT GROUND FLOOR PLAN

FIRST FLOOR
Scale 1:100

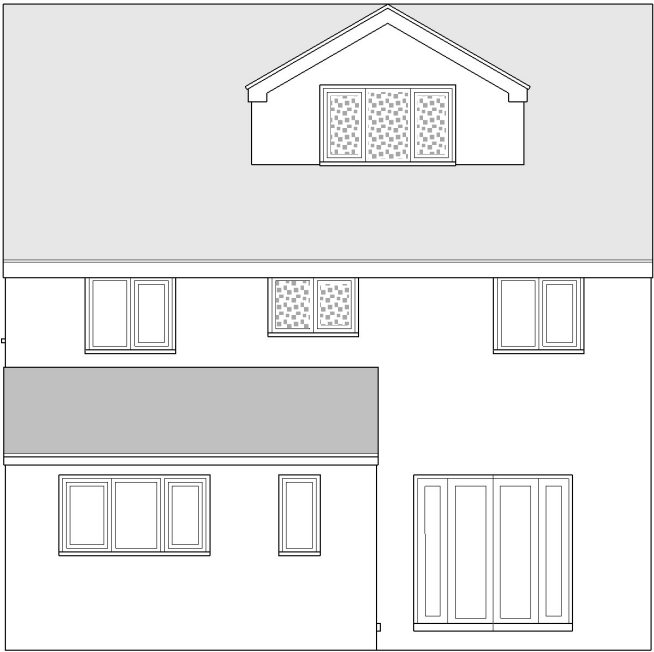


SECOND FLOOR
Scale 1:100



Dormer clad in rosewood UPVc shiplap cladding to match fascias
Window to be obscure glazed and opening, with frame in Golden Oak to match existing windows.

EAST ELEVATION - REAR FACING
Scale 1:100

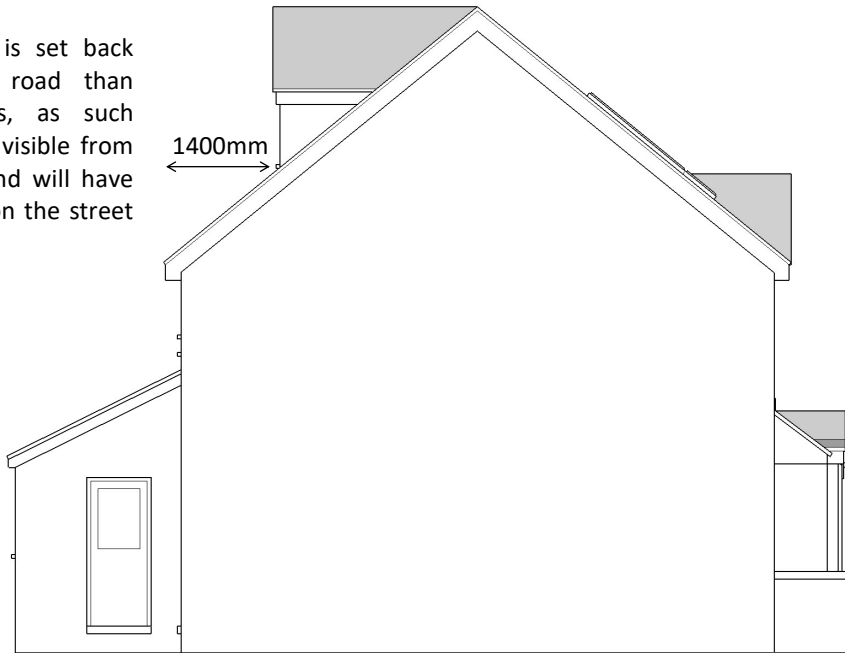


WEST ELEVATION - ROAD FACING
Scale 1:100

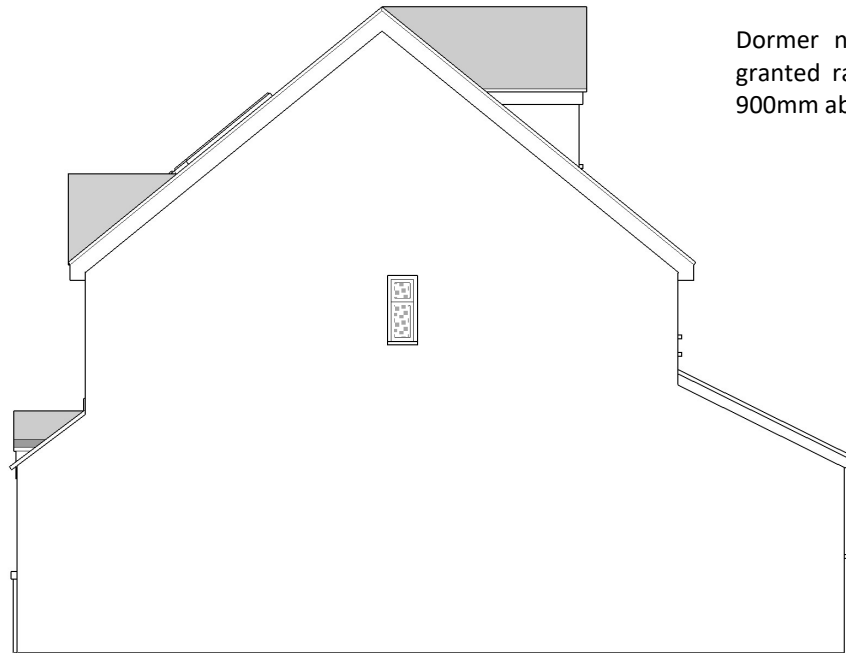


1 additional roof-light to front elevation - Opening

NORTH ELEVATION
Scale 1:100



SOUTH ELEVATION
Scale 1:100



Dormer no higher than already granted raised ridgeline (approx. 900mm above existing ridgeline).

The host property is set back further from the road than adjacent properties, as such dormer will not be visible from Wentworth Road and will have insignificant effect on the street scene.

ADDITION TO PLANS OF APPLICATION 2021/1703:

One small additional roof-light to road-facing roof plane, in line with already granted roof-lights and approximately central in spacing - roof light dimensions approximately 550mm x 700mm
New dormer to the rear of property to provide greater headroom in attic conversion, floor plans adjusted accordingly to maximise the space. Window to be obscure-glazed for privacy of houses to the rear of 57 Wentworth Road. Dormer design is considerate to local area, with an apex roof no higher than the already approved increase in ridgeline to the property. Dormer is not central on roof-space due to interior rooming requirements, and existing asymmetry to the front aspect. Due to the proximity of the rear of the property to a 4500mm high wall, it is not possible to view the rear of the house such that you can see the full rear aspect.

NOTES:

Final as-built dimensions and roof angle to suit brick dimensions.
All structural and interior work to be carried out in accordance with Building Regulations required to convert the attic into a liveable space, with necessary inspection and approval from Building Control. Any supporting steels and Wood Trusses used in construction to have appropriate calculations to ensure structural stability.

Wentworth View 57 Wentworth Road, Blacker Hill, Barnsley, S74 0RP
Proposed Elevations and Floor Plans (not including unaltered Ground Floor)