
2024/0888

Applicant:

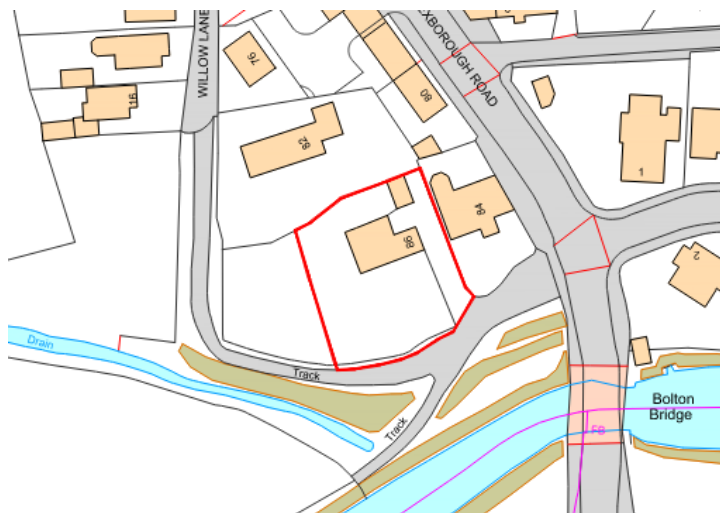
Address: Rose Cottage, 86 Mexborough Road, Bolton Upon Dearne, Rotherham, S63 8LX

Description: 2 storey extension to create front porch, first floor extension above current lean-to extension and roof conversion to provide habitable area with associated works to 2 storey detached dwelling at Rose Cottage

One neighbour comment/objection & One Comment of Support

Site & Location Description:

Located at the southern edge of the village of Bolton-Upon Dearne, leading off the B6098 Mexborough Road, overlooking the river Dearne; the dwelling is an extended cottage rendered in white with a grey cross gable roof. As the dwelling has been renovated and extended over the years, including loss of land for development of nearby dwellings, it is difficult to establish the original size or character of the dwelling, and in recent years the original front elevation appears to have been replaced by the left side elevation. Despite the curtilage being much smaller than it was historically, the dwelling sits comfortably within its reasonably sized curtilage. A track, whose ownership is unclear leads from Mexborough Road past No.84, before being incorporated within the driveway of the application dwelling. It appears that No.82, a dwelling to the rear of the application dwelling, whose entrance gates are at the end of the applicant's driveway has access rights over the driveway and onto the track. The application dwelling along with other dwellings in the area are set within land designated as Urban Fabric, the adjacent land beyond the track, towards the east is classified as green space for recreational use. Southerly of the track and river is a park, located within the neighbouring local authority.



Planning History:

- **2019/0418** - First floor rear/side extension to dwelling.
Approved with conditions 13th June 2019
- **2007/0068** - Erection of two storey side extension to dwelling.
Approved with conditions 12th March 2007
- **B/90/1112/DE** - Erection of extension to private garage.
Approved with conditions 10th August 1990

- **B/90/0808/DE** - Erection of one dwelling and construction of new vehicular access (outline).
Approved with conditions 12th August 1990
- **B/88/0833/DE** - Erection of two storey extension to dwelling.
Approved with conditions 2nd August 1998
- **B/85/0554/DE** – Residential development (outline).
Approved with conditions 23rd May 1986

Proposed:

The proposal is for a first-floor extension on top of an existing single-story elevation on the left side elevation of the dwelling, although effectively the rear elevation, and a two-storey right side extension, realistically a corner infill of the operative front elevation but described as the right-side elevation and the effective side elevation described as the rear elevation. Additional and significant roof works are also proposed which would bring together four roofs of differing heights into one new and higher gable roof with internal living space and a Juliet style balcony on the left side elevation, but for all intents and purposes would be considered as the rear elevation.

Approximate Measurements:

First Floor Extension (existing ground floor)

- **Projection: 1.94m** (1.94m)
- **Width: 8.8m** (8.8m)
- **Maximum Eaves Height: 5m** (2.4m)
- **Maximum Roof height: 8.95m** (3.25m)

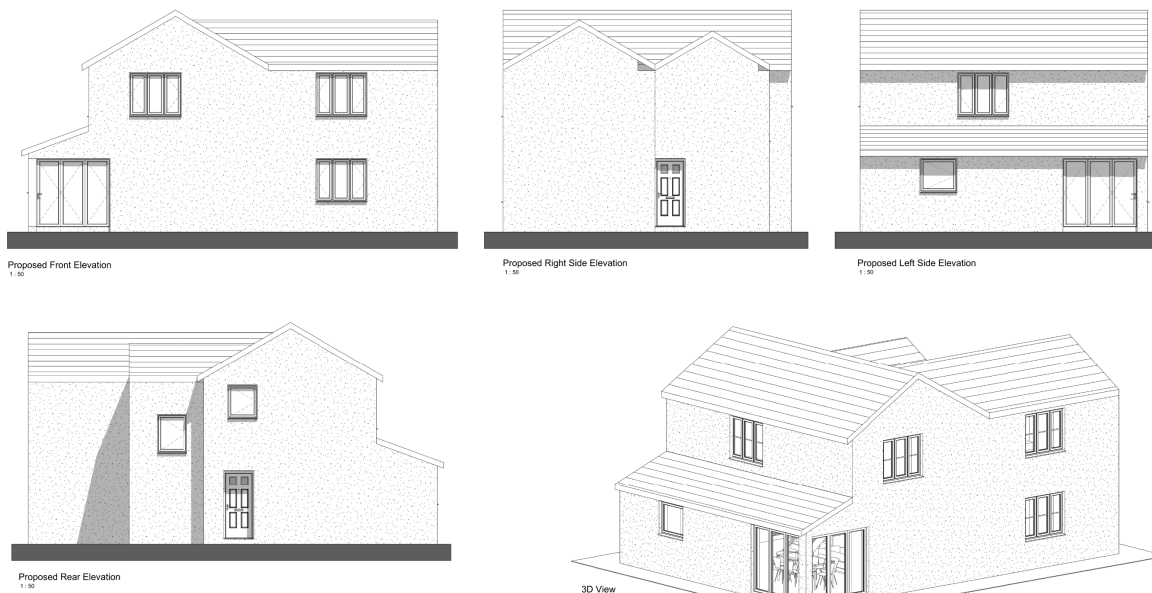
Two Storey Extension

- **New Projection: 3.11m**
- **Total Projection from Original Dwelling: 5.38m**
- **Width 3.5m**
- **Maximum Eaves Height: 5m**
- **Maximum Roof height: 8.95m**

New Roof – replacing existing 3 gable roofs and a ground floor pitched roof (original, main roof)

- **Height: 8.95m** (6.8m)
- **Eaves Height: 5m** (4.94)

Existing Elevations and Proposed Floor Plans and Elevations





Local Plan Designation: Urban Fabric

Conservation Area: No

Neighbour Representations:

Letters were sent to nearby addresses; One comment of support was received, and one objection/comment of concern was received. On assessment of this comment, it was determined that it related to rights of access and ownership of land which would be a civil matter rather than a planning consideration.

Consultees: None

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the

development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances require it.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well-designed places -

The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.

Within section 12, paragraph 139 is the most relevant which indicates:-

Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or
- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Local Plan

In reference to this application, the following Local Plan policies are relevant:

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

SD1 - Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

T4 - New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Assessment

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

Due to the unique location of the dwelling, the location of the proposed extensions, and the position of the neighbouring dwellings, there would be minimal impact on residential amenity. Whilst the proposed first floor extension would be on the left side elevation, effectively the rear elevation, as is the existing ground floor extension which it would be built upon, it would pose no significant impact to the amenity of the rear neighbouring dwelling of No.82. Whilst it would be located between the rear neighbouring dwelling's front elevation and the rear/side boundary of the application dwelling, the extension would not overshadow or block light to the actual neighbouring dwelling but may have a modest impact on light into a small section of their front garden and attached garage. Similarly, the roof may have a modest impact on light levels into their front garden, but although the height is increased, the pitch is also altered, reducing some of the bulk of the roof at the lower levels. Regarding privacy, the new extension would not directly overlook the neighbouring dwelling or their front garden but in contrast the neighbouring dwelling would still overlook the applicant's rear garden. As the proposed Juliet balcony would be on the same left side or rear elevation, it would also not directly overlook any neighbouring dwellings or their gardens.

The extension on the right-side elevation, although effectively the operative front or principal elevation would infill a space of what appears to an original feature or old extension of the dwelling

and the 2019 first story extension, which was built on top of a previous single-story extension. Although relatively close to the neighbouring dwelling of No.84, the extension would not extend beyond the current furthest point of this elevation, and whilst featuring a new first floor window, it would directly overlook the blank elevation of No.84. In terms of the SPD it mentions that we should be looking for a distance of 12m from a habitable room window to a blank elevation. With a 5m distance to the boundary and 5.5m distance to the blank elevation of No.84, it would fall below this level. However, it wouldn't affect the privacy of the near neighbour as it would not overlook any existing windows and it would only overlook the garden at an oblique angle. It would not offer the best outlook for an occupant of the bedroom but in mitigation the bedroom is the smallest in the proposed renovated dwelling and larger than the bedroom it replaces. Whilst specifically the outlook is not good from this window, it allows natural light in and there would be an abundance of outlook and natural light from other windows within the dwelling. The same extension would also have no significant impact on the amenity of No.82, with one window being removed from the rear elevation. On balance, whilst the proposal wouldn't adhere to all the elements of the SPD, the lack of detriment to the neighbours from the reduced distance, and the lack of any objection from No.84 means, in this instance, the lack of adherence to one part of the SPD would not be considered sufficient to warrant refusal of the application.

There has been concern raised about access both during and post construction of this right-side extension as it is adjacent to the driveway which provides access to a dwelling to the rear. As the proposal is wholly built on land associated with the application dwelling and has or would require the landowner's consent, and with the buildings footprint not encroaching on to the shared access driveway, any dispute about access during or post construction would be a civil issue outside of the control of the planning department and local authority.

Visual Amenity

There would be minimal impact on the visual amenity of the area due to the semi-secluded location of the dwelling and the tree coverage around the river which runs adjacent to the track and diffuses views of the dwelling, especially from the south. The impact on neighbouring dwellings would also be minimal, especially for the residents of No.84 due to the application dwelling being adjacent to the blank side elevation of their dwelling and being unseen from their windows. The impact on No.82 may be slightly more impactful as the dwelling looks indirectly at the application dwelling and the roof height would be increased. However, as noticed on the site visit, the most potentially impactful aspect of the proposals, the first-floor extension above the existing ground floor extension would not block the outlook of No.82, with unobstructed views over the neighbour's garden and more significantly the river, parks and green space beyond.

In respect of the character of the dwelling there have been significant changes over the years. As the dwelling is and would remain rendered, the one advantage of rendering is it hides examples of previous and proposed extensions of mismatched brick or stonework and when considered along with the new single gable roof, the proposal would create a more coherent aesthetically pleasing design without being overtly out of character with the more modern dwellings nearby or within the green space it borders.

Highway Safety

There are no proposed changes to access or parking arrangements, which consequently means there is no impact upon Highway Safety.

Recommendation: Approve with conditions