

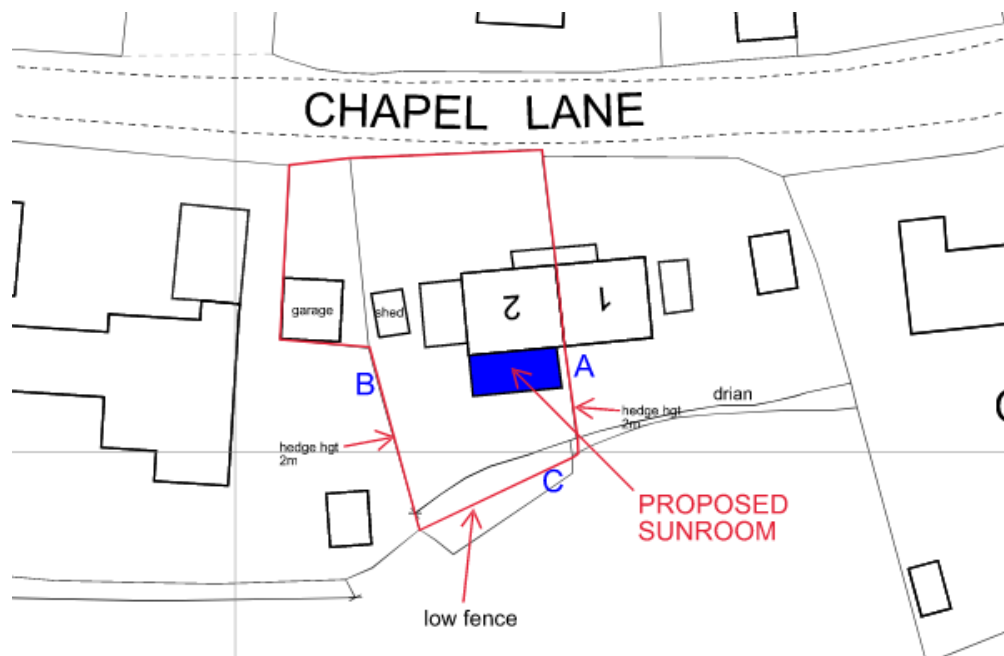
Application Reference: 2026/0315

Site Address: 2 Chapel Lane, Billingley, Barnsley, S72 0HZ

Introduction: This application seeks full planning permission for the proposed removal of existing conservatory and erection of rear single storey sunroom extension with stepped terrace.

Relevant Site Characteristics:

Situated on the outskirts of the village of Billingley, but set within the Conservation Area, the dwelling is mid twentieth century, red brick semi-detached house, featuring a red brick side extension and attached conservatory to the rear, along with a white rendered porch style extension on the front elevation of the dwelling. Much of the front curtilage is enclosed by a traditional wooden post and rail fence, but an adjacent area of curtilage is unfenced, and features a driveway and detached wooden garage.



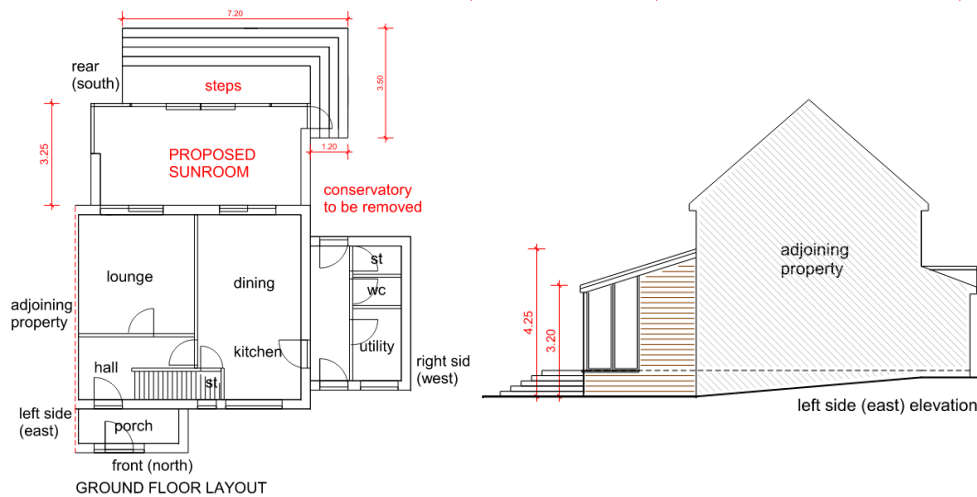
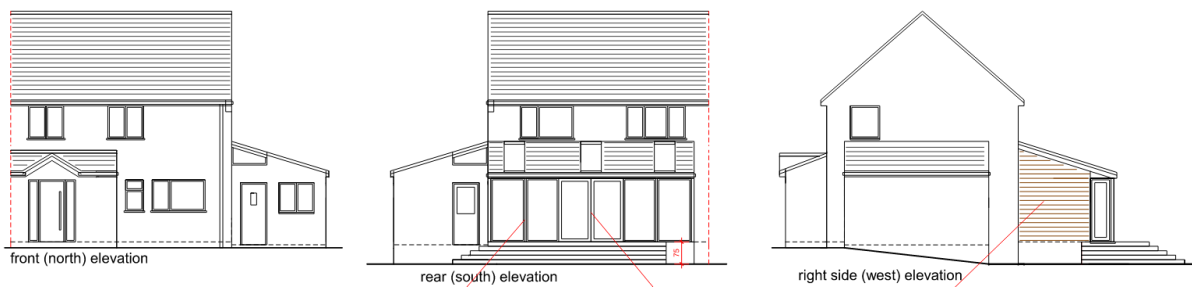
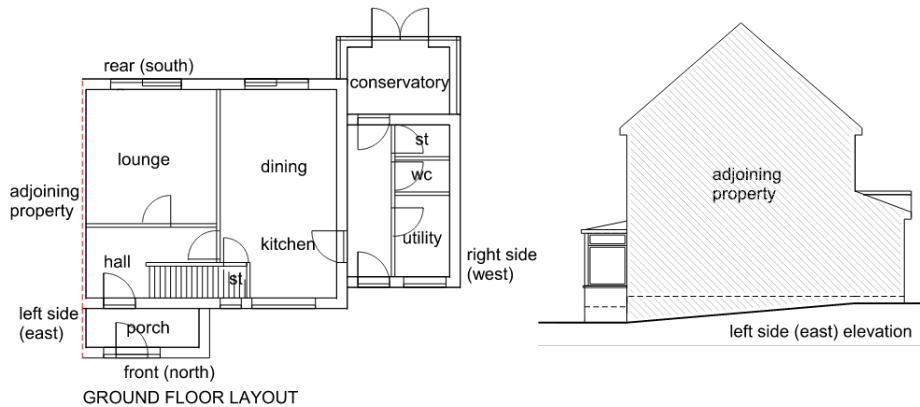
Site History

Application 2020/0155 for the 'erection of single storey extensions to front and rear, two storey side extension to dwelling and erection of detached garage' was approved in May 2020. It appears that the front extension, detached wooden garage and driveway were constructed, with other works not completed.

Detailed description of Proposed Works

The proposal is for the removal of an existing conservatory, around 7.5 sqm in size, and located on the rear elevation of side extension, and for the erection of a new sunroom extension, on the rear elevation of the dwelling. An additional area of steps adjoining the sunroom to the rear garden is proposed. As the height of the steps would exceed 0.3m (30cm) from ground level, they would be including within the footprint of the sunroom extension, which together has a footprint of approximately 41.5 sqm.

Existing and Proposed Floor Plans and Elevations



Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate

otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy GB1: Protection of Green Belt
- Policy GB2: Replacement, extension and alteration of existing buildings in the Green Belt
- Policy HE1: The Historic Environment
- Policy HE2: Heritage Statements
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places 16. Conserving and enhancing the historic environment

Section 16 - Conserving and enhancing the historic environment

Section 13 - Protecting Green Belt land

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. A public notice was also published in the local newspaper, The Barnsley Chronicle, and a public site notice was posted close to the development address.

No comments were received from any of the methods of notification or publication.

Billingley Parish Council: No Comments received.

Design & Conservation Assistant Officer: In their full assessment, they highlighted how the Design and Access Statement provided the wrong construction date for the dwelling, but overall the circa 1950's dwelling provides a positive contribution to the Billingley Conservation area. Regarding the works, given the relatively modern nature of the dwelling, and the location of the proposed works, there would no harm to the conservation area or more significant historic buildings within it.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site is within the Green Belt. Local Plan Policy GB2 relates to the replacement, extension and alteration of existing buildings in the Green Belt and states:

'Provided it will not have a harmful impact on the appearance, or character and will preserve the openness of the Green Belt, we will allow the following development in the Green Belt:

Extension or alteration of a building where the total size of the proposed and previous extensions does not exceed the size of the original building.'

With the maximum allowance for additional floorspace being up to 100% the original size of the dwelling, for this dwelling, a maximum addition of 98 sqm would be allowed, but this includes all extensions, outbuildings and the proposed steps. From the original footprint, if the development was completed according to the proposed plans, with the shed and garage remaining but the existing conservatory removed, the increase in overall floor space, would be approximately 94.5sqm or a 96.4% increase which meets policy GB3.

The site also falls within the Billingley Conservation Area. Extensions and alterations to residential properties within Conservation Areas are considered acceptable where they would be respectful of local character and will conserve and enhance the significance and setting of the borough's heritage assets and where it would not have a detrimental impact on the amenity of surrounding residents, or on highway safety.

In principle, the proposed development is considered acceptable as the extensions would remain within the limits set out in Local Plan Policy GB2. The site's location within the Billingley Conservation Area is also acknowledged and detailed considerations relating to design, character, amenity and impact on heritage significance are addressed separately below.

Impact on the Openness of the Green Belt

The proposal is for the removal of the existing conservatory, located on the rear elevation of the dwelling, and to replace it with a single storey sunroom with a stepped terrace. As the proposal is located on land designated as Green Belt, in addition requirements detailed above for development to residential dwellings located within a Conservation Area, further assessment is required due to the dwelling's location within the Green Belt.

The original gross floor space of the dwelling would be approximately 98 sqm. The dwelling appears to have been previously extended through the addition of a front porch, side extension, conservatory, shed and garage. These existing extensions and outbuildings add approximately 59.5 sqm to the original dwelling's footprint, or 52 sqm with the removal of the existing conservatory which is already a significant increase of approximately 60% however when including the new proposed extension the increase in overall floor space, would be still remain below the 100% allowance at approximately 94.5sqm or a 96.4% increase.

Whilst the design and impact of the proposal would be fully assessed in the section below, it is clear to see that due to the relatively modest size additional increase, to what is already present, there would be minimal harm to the openness of the Green Belt.

Therefore, the requirements of local policies GB1 and GB2 have been met and the proposal is unlikely to cause harm to the openness of the Green Belt.

Design and Impact on the Character of the Conservation Area

The site is located within the Billingley Conservation Area, designated in 1974 for its architectural and historic interest. The supporting statement describes the dwelling as being constructed of red facing brickwork, with clay roof tiles, white uPVC windows, and solar panels located to the rear roof slope. The dwelling makes a positive contribution to the character and appearance of the conservation

area, however given the relatively modern nature of the building and the location of the works to the rear, where they would be largely out of view and positioned from the conservation area, the proposal would be acceptable from a Conservation perspective.

As such, the development would not harm the significance of the conservation area or the special interest of its more historically important buildings in accordance with Policy HE1 and D1 of the Local Plan. This carries moderate weight in favour of the proposal.

Impact on Neighbouring Amenity

Only the attached neighbouring dwelling would be impacted by the proposal. Whilst there has been no comments or objections to the proposal, there is potential possible harm to the amenity of the neighbouring dwelling. Based upon a estimated 45-Degree angle form the centre of the neighbouring dwelling's rear elevation French doors; the line of the 45-degree angle would intersect the corner of the proposed sunroom.

In mitigation of this breach, firstly the breach is quite small, and any amendment to the proposal may be difficult to implement and would have minimal benefit for the neighbouring dwelling. Secondly, the extension is just 0.25m (25cm) in projection to long to otherwise be allowed through permitted development. Finally, whilst there is not a current high boundary treatment between the dwellings, subject to any potential consent from the Conservation team, a higher rear boundary treatment of up to 2m high, may be erected by either current or future occupants of either dwelling, which would significantly reduce any impact caused by the proposed extension.

With a modest impact on residential amenity, which if required by the applicant or neighbouring dwelling could be reduced to little or no impact with the introduction of a higher boundary treatment the proposal would be considered in accordance with Local Policy GD1. This carries moderate weight in favour of the proposal.

Highways

With an existing garage and driveway already constructed through the consent of the application approved in 2020, and no other changes to access or parking provision, there would be no impact on highway safety.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

- Revised plans showing the existing garage and shed were requested to correctly calculate the Green Belt calculations.

**STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT
MANAGEMENT PROCEDURE ORDER 2015**

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions and Informative

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.
Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.

2. The development hereby approved shall be carried out strictly in accordance with amended plans

- Location Plan 12.06.2026
- Block Plan 12.06.2026
- Existing Floor Plans and Elevations PAGE 1 16.04.2026
- Proposed Floor Plans and Elevations PAGE 2 16.04.2026

and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

3. The external materials shall match those used in the existing building.
Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking or re-enacting that Order with or without modification), no enlargement, improvement or other alteration of the dwellings which would otherwise be permitted by Part 1 of Schedule 2 to that Order shall be carried out without the prior written consent of the Local Planning Authority, and no garages or other outbuildings shall be erected.

Reason: To safeguard the openness and visual amenities of the Green Belt in accordance with Local Plan Policy GB1 Protection of Green Belt.

1. The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner. If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.

