

DESIGN STATEMENT and HERITAGE IMPACT ASSESSMENT

This document has been prepared in support of a Planning Application for the erection of stables on land to the rear of The Croft Farm High Street Billingley. The site comprises extensive driveway and extended garden land to The Croft Farm.

1.0 Appraisal

Planning History

A Pre-Planning Enquiry ref: 2021/ENQ/00638 was submitted to Barnsley MBC and the case officer that provided the response was Laura Bennett. The response confirms that stables for sports/recreation is an acceptable use within the green belt subject to appropriate justification.

Information contained within the response has been used to inform the design including:

- Change of design from stone to timber frame building construction.
- The applicant has the use of existing stables at a family members property on Chapel Lane which will be removed to allow some redevelopment. These stables will provide a replacement as well as space to provide for associated storage.
- We note the site is located within the Conservation Area and a proportionate Heritage Impact Assessment is included as part of this Statement.
- Provision of Walk-over Ecology Report which is supplied as part of the application documents.

Proposals

The works involve the erection of a single storey stable with storage space. The position of the stables has changes since the Pre-Planning enquiry however the principal for the erection of a stable building remains the same. The building will have a concrete floor and walls constructed above damp proof level with timber frame and clad in timber.

2.0 Assessment/Evaluation

Use

The site is located on land to the rear (west) of Croft Farm on High Street within Billingley Village. The land is extended garden to The Croft Farm which has been in use as a garden for in excess of 10 years.

Planning Policy

The site is Green Belt where the erection of buildings for sports/recreation use is an exception to the general principal that development in the Green Belt is inappropriate.

Amount

The total site area is 0.94 Hectares including the access drive. The stables have a floor area of 112m². They provide stabling for two horses a feed and tack store and space for a small tractor with trailer.

Layout

The building is located to the north of the land and faces south. Access is via The Croft Farm through the existing paddock without the need to lay any formal road surface.

Scale

The stables are single storey with a low-pitched roof with an eaves height of 3.14m and a ridge height of 4.6 meters.

Landscaping

Soft landscaping

There are existing trees to the north and west boundary. Existing trees and hedges are unaffected however we have shown two new trees in the form of an Oak and a Rowan as shown on the plans.

A Tree Survey and Arboricultural Method Statement has been provided and the plans indicate proposals for root protective fencing to be erected during the construction phase.

All other existing garden trees are to be retained.

Hard Landscaping

There are no significant implication for hard landscaping although a 2.0m wide concrete apron will be required along the building frontage.

Design and Appearance

The stables are to be built using a timber frame clad in vertically boarded timber, with timber stable doors and a galvanised steel roller shutter to the vehicle storage area.

The roof will be clad using profiled Onduline sheeting in black or dark green finish incorporating translucent sheeting for natural light where shown and black Upvc gutters and rainwater pipes.

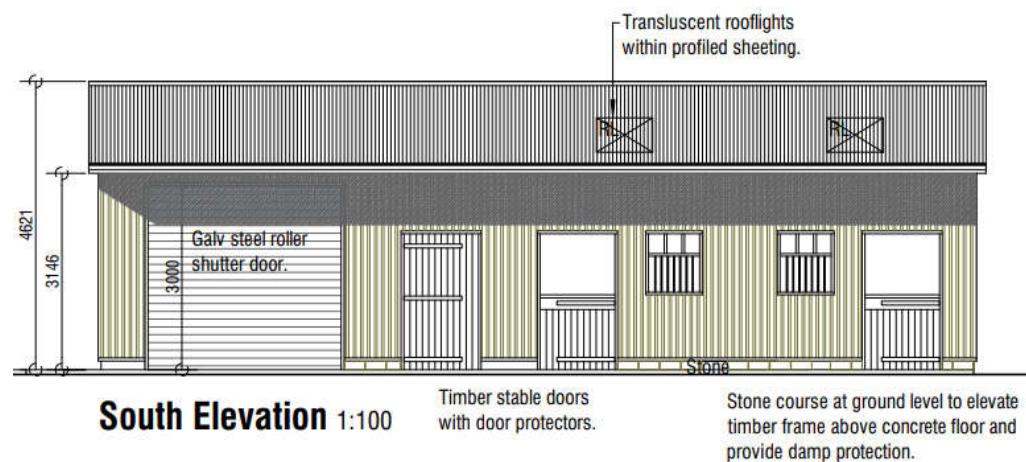


Fig 01. Proposed External Appearance.

3.0 Access

Access is via an existing private drive from High Street and is unaffected.

4.0 Heritage Impact Assessment

The site is located within the designated Conservation Area of Billingley Village. There is a Conservation Area Appraisal that describes the various elements that help to form its special character including areas of special architectural or historic interest.

The impacts of the proposals upon the Conservation Area are considered:

- The design of the proposed stables are a simple rural form with materials that are appropriate to the agricultural vernacular.
- The stables are located at the western perimeter of the Conservation Area and have a backdrop of mature trees to the north and a mature hedge to the west that provides screening.
- The works can be undertaken without affecting any mature landscaping or trees that have protection within the conservation Area.
- The proposals have no negative impact upon long range view into or out of the Village or the Conservation Area.
- The proposals have no impact upon the most historic parts of the village which include the war memorial at the centre of the village. There are three listed buildings within the village:
Billingley Hall Back Lane Billingley - 200 meters south east of the site.
Poplar Farm Chapel Lane Billingley - 120 meters south of the site.
Manor House High Street Billingley - 260 meters south east of the site.
None of these or their setting is affected by the proposed dwelling.

The proposals feature a simple, small scale single storey timber clad stable building of a traditional design using sympathetic materials which is appropriate to the village and wider setting of the Conservation Area, minimising and mitigating any detrimental impact.

It is considered that the proposals have no detrimental impact upon the special character of the Conservation Area, and the design and use of good quality materials. The location of the proposed dwelling being set well away from the road and any public access areas and has no impact upon the street scene or views along the principal routes, or into or out of the village.

Summary

The proposals relate to the erection of a small stable building which is appropriate development within the Green Belt and has no negative impact upon the wider Conservation Area. The proposals adhere to local and national planning policy and we look forward to receipt of the councils support with regard to this application.



MBooth Design