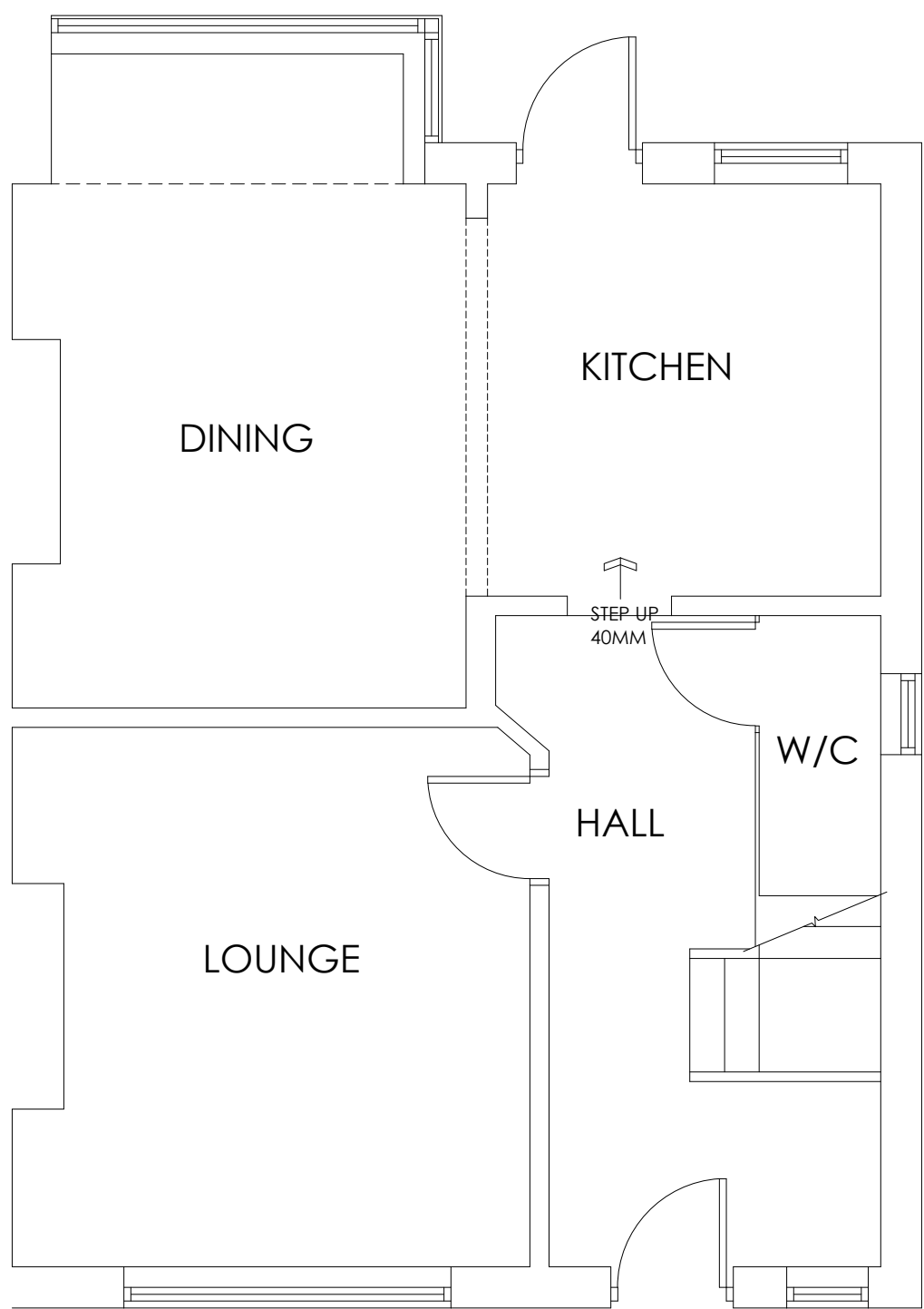
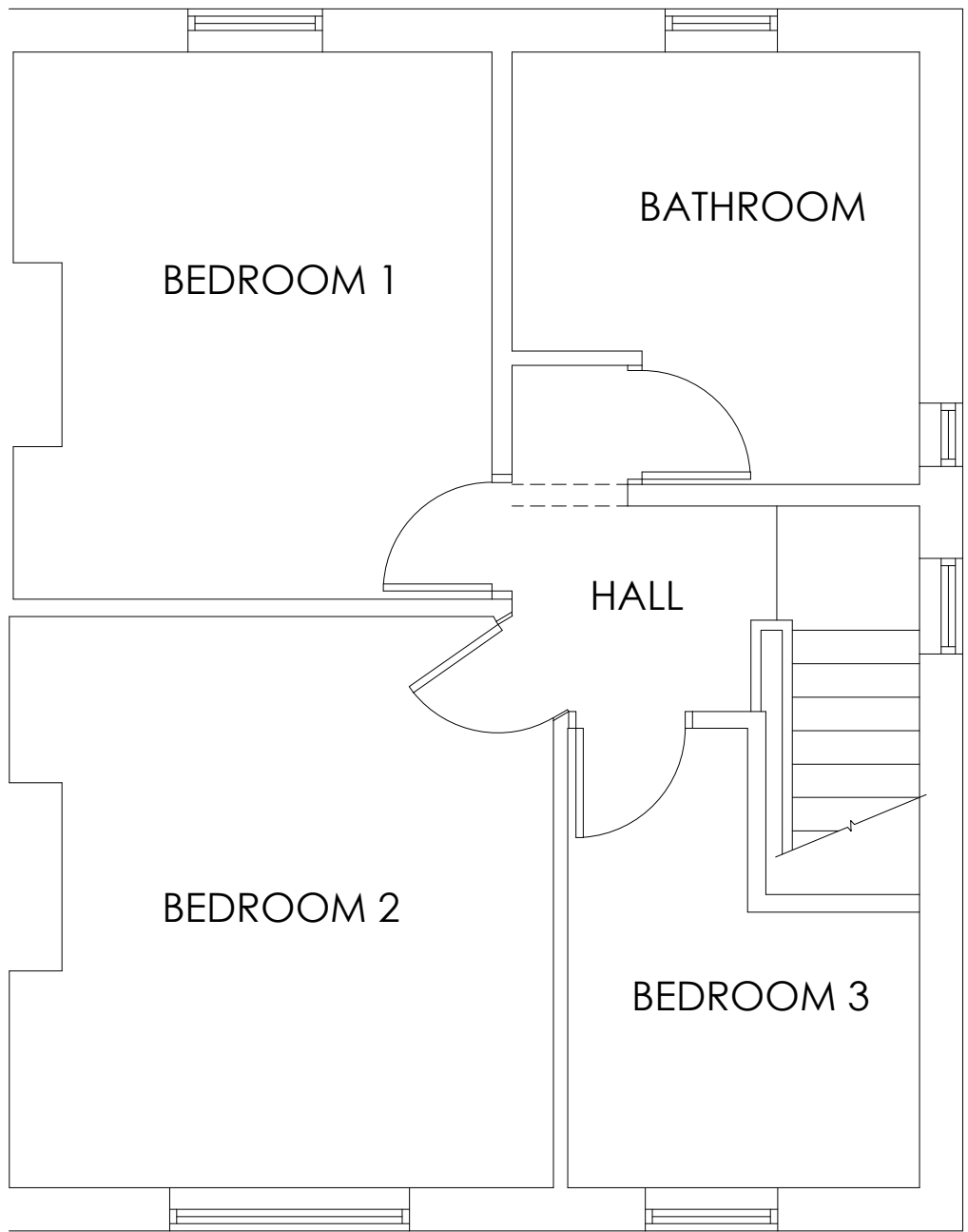
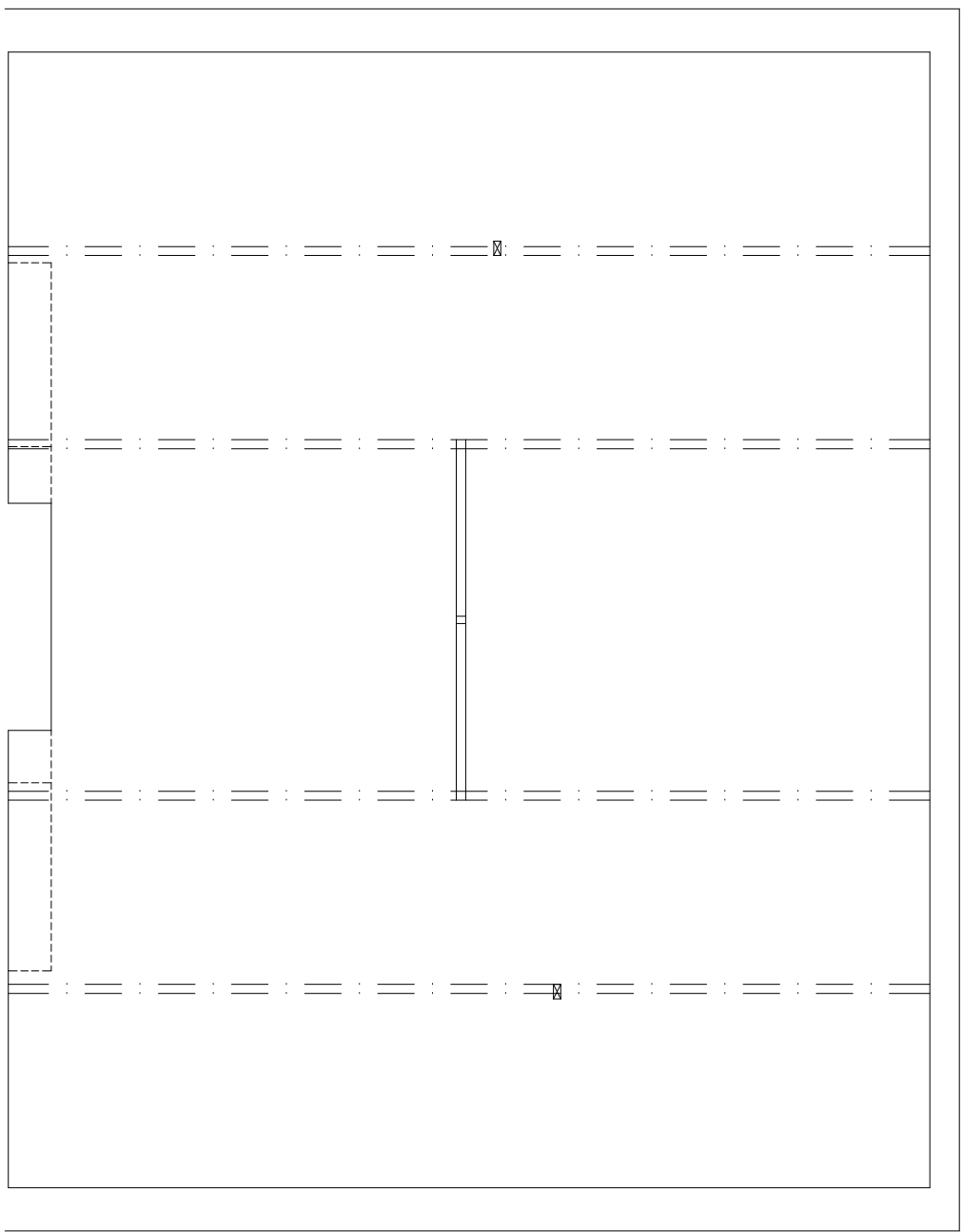




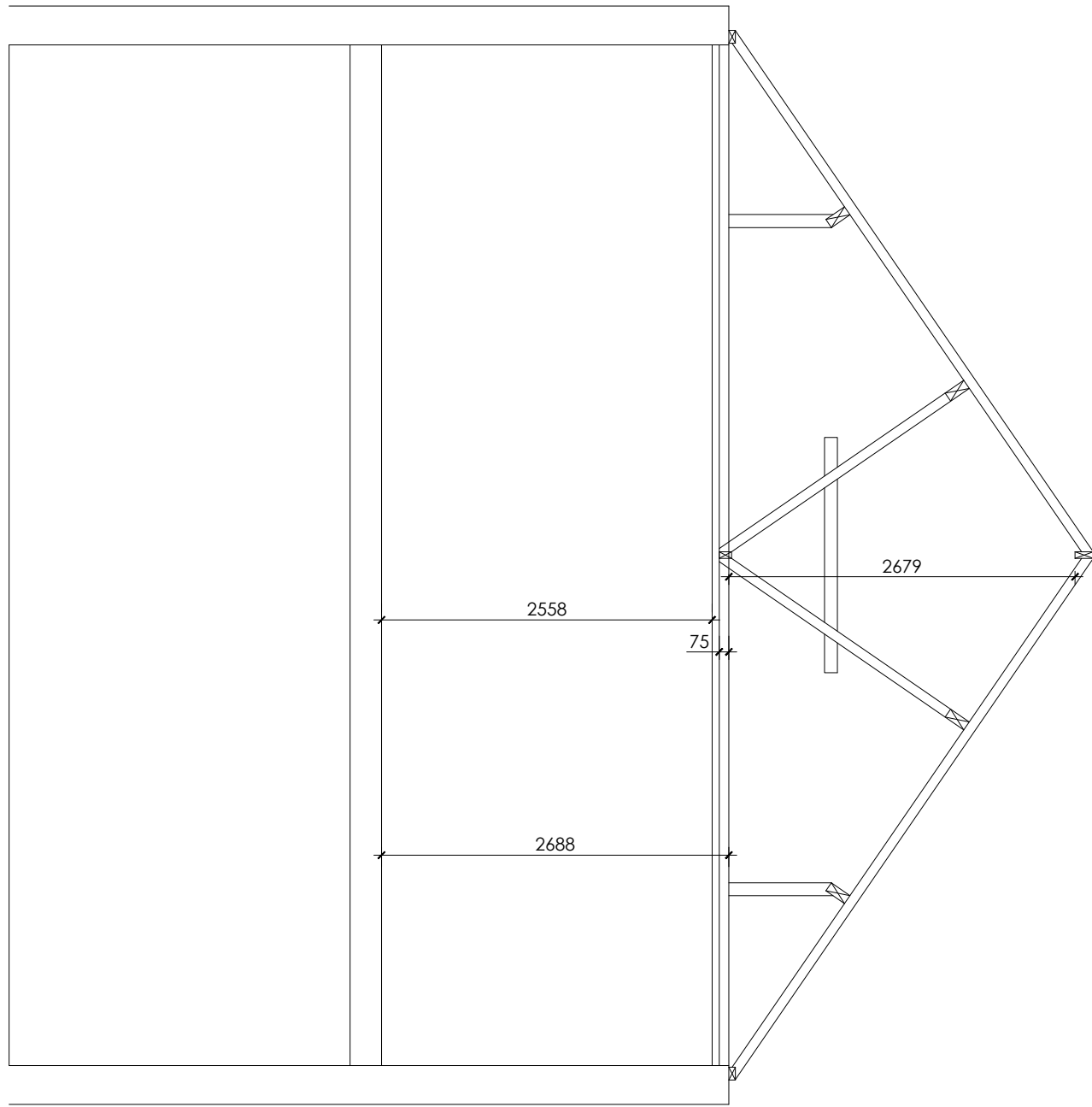
EXISTING GROUND FLOOR PLAN
SCALE 1:50



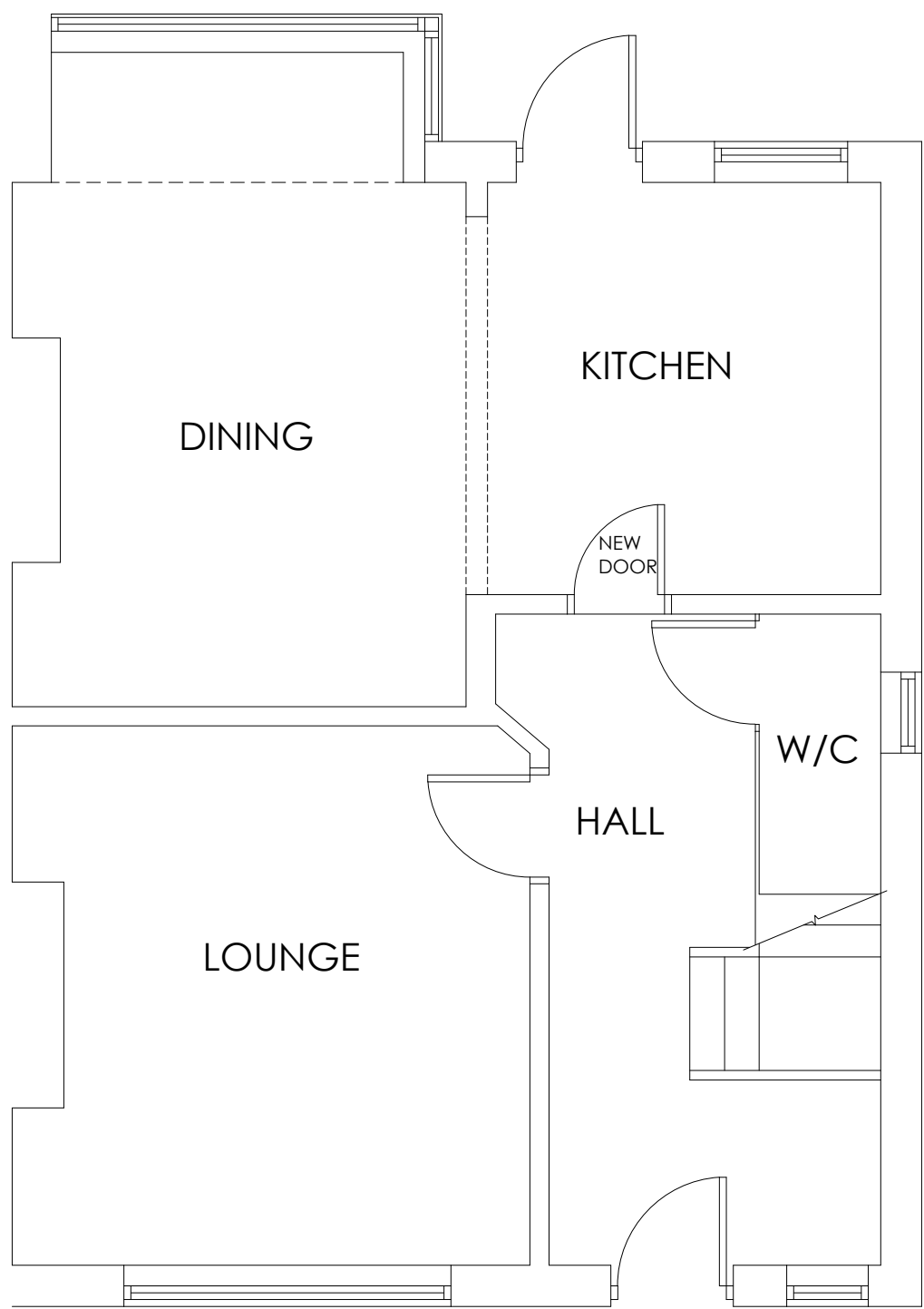
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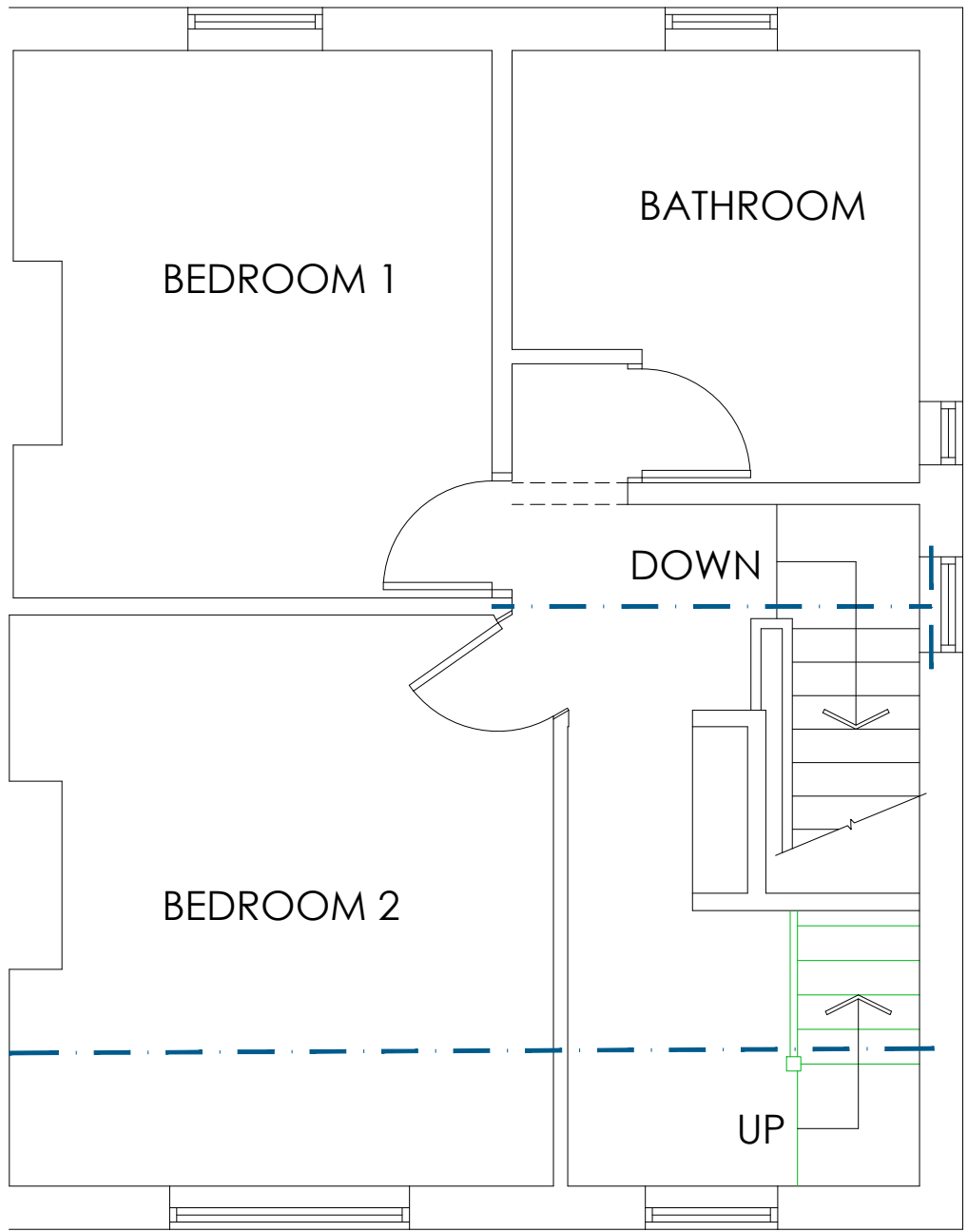
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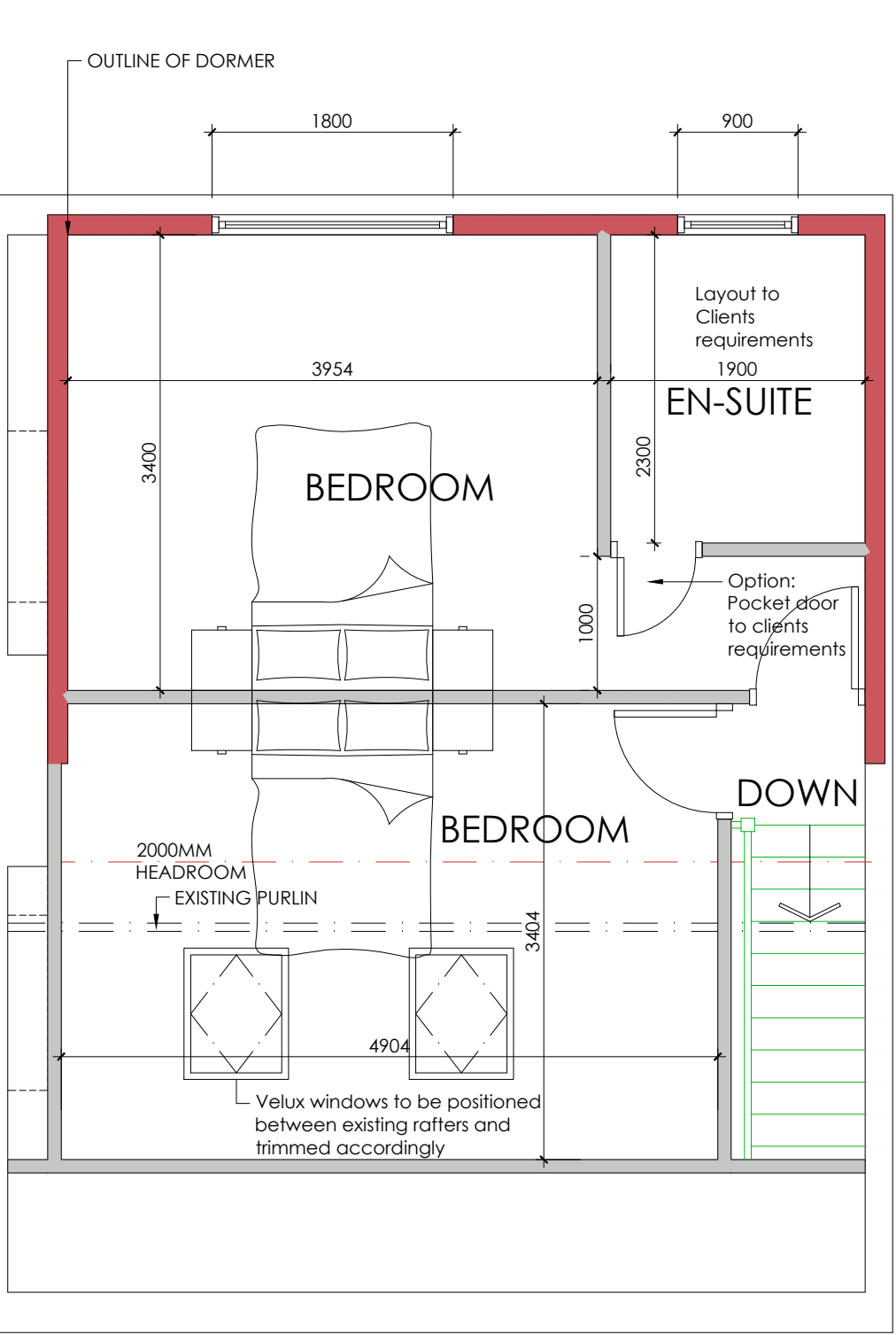
EXISTING ROOF SECTION
SCALE 1:50



PROPOSED GROUND FLOOR PLAN
SCALE 1:50



PROPOSED FIRST FLOOR PLAN
SCALE 1:50



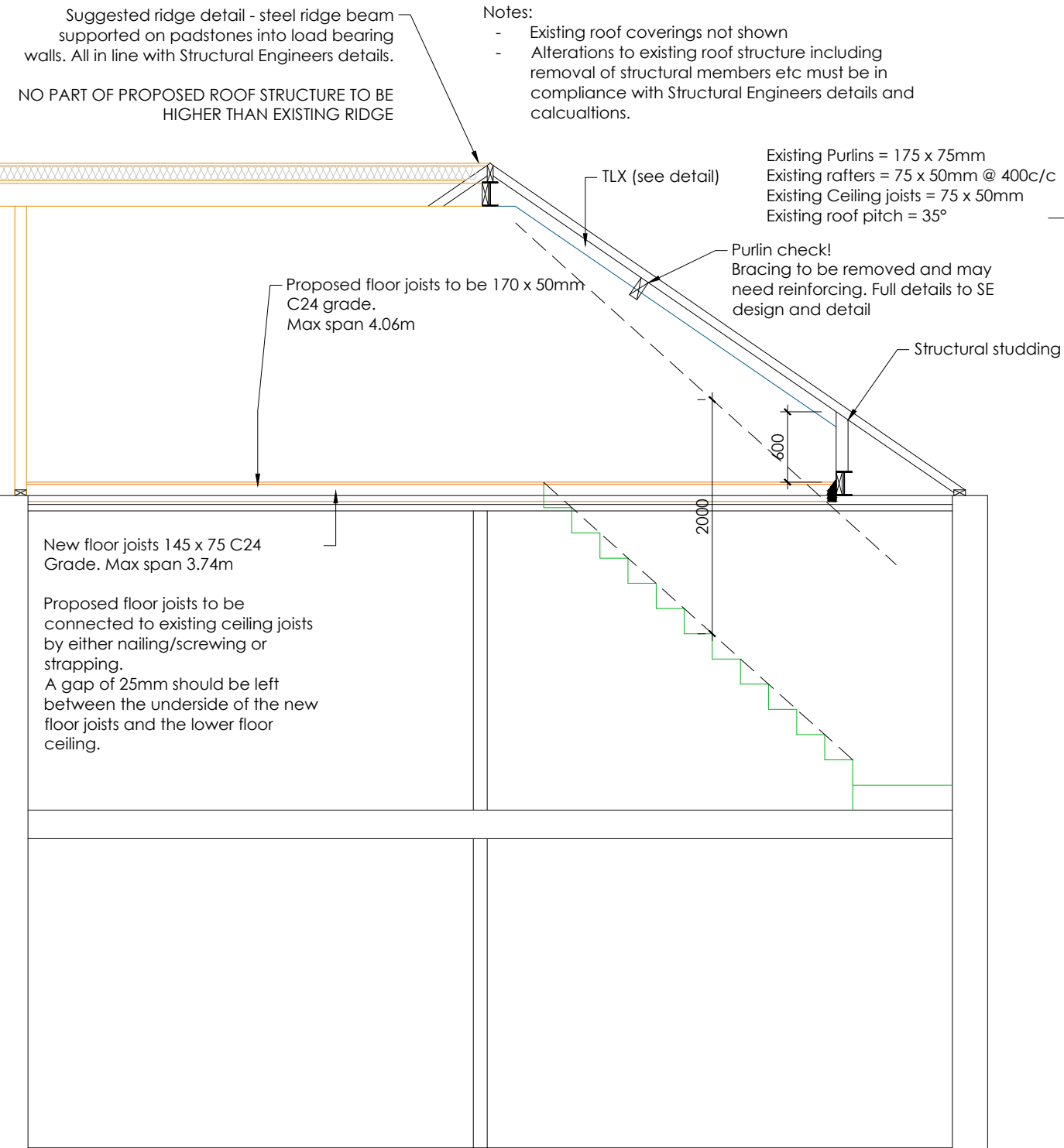
PROPOSED LOFT PLAN
SCALE 1:50

OPTIONS FOR MEANS OF ESCAPE

MEANS OF ESCAPE - Fire doors
Form a protected escape stairway by providing half hour fire resistance to all partitions as well as floors and ceilings above and below rooms. Stairway to be protected at all levels - from the loft room/rooms then leading directly to an external door at ground level (no inner rooms allowed). All doors on to the stairway must be FD20 rated fire doors to BS 476-22:1987 or the European equivalent BS EN 1634 (fitted with intumescent strips rebated around sides & top of door or frame if required by BCO). Where applicable, any glazing in fire doors to be half hour fire resisting and glazing in the walls forming the escape route enclosure to have 30 minutes fire resistance and be at least 1.1m above the floor level or stair pitch line.

MEANS OF ESCAPE - Door upgrade
Form a protected escape stairway by providing half hour fire resistance to all partitions as well as floors and ceilings above and below rooms. Stairway to be protected at all levels - from the loft room/rooms then leading directly to an external door at ground level (no inner rooms allowed). Existing doors on to protected route to be upgraded with proprietary intumescent paint/paper products with relevant BBA certificate applied as manufacturer's details to achieve 20 minutes fire resistance (check suitability of doors as agreed with building control before works commence on site). A copy of the purchase invoice will be required by building control on completion to confirm product used and manufacture to confirm fire resistance achieved. Doors to be fitted with intumescent strips rebated around sides & top of door or frame if required by BCO. Where applicable, any glazing in fire doors to be half hour fire resisting and glazing in the walls forming the escape route enclosure to have 30 minutes fire resistance and be at least 1.1m above the floor level or stair pitch line.

MEANS OF ESCAPE - SDs in all rooms and retaining existing doors (LABC guidance note Ref 07/02).
The following 3 conditions should all be met:
a) Provide smoke detectors at every storey level, at half landing levels adjacent to habitable rooms and in all habitable rooms. An additional heat detector is also required in the kitchen. Smoke detection to be mains operated linked smoke alarm detection system to BS 5446 - 1:2000 mains powered with battery back up.
b) Provide an egress window at first floor level with an unobstructed openable area of 450mm high x 450mm wide, minimum 0.33m sq, the bottom of the openable area should be not more than 1100mm above the floor. The window should enable the person to reach a place free from danger from fire.
c) Provide a protected escape route requiring doors to be min standard of traditional timber panel type at least 32mm thick, with steel hinges, not warped and fitting well into its frame with no visible defects particularly in the panels, (hardboard or other lightweight flush doors are not acceptable). Walls throughout stair enclosure and frames around doors must be checked and be free from defects as required by the Building Control Officer. Any glazing in doors to be half hour fire resisting and glazing in the walls forming the escape route enclosure to have 30 minutes fire resistance and be at least 1.1m above the floor level or stair pitch line.



UPGRADING EXISTING SINGLE SKIN PARTY WALL (cold adjoining space)
The existing walls must be checked for stability and be free from defects as required by the Building Control Officer.
Provide a scratch coat render to existing wall. Construct a studwork lining using 100mm x 50mm treated timbers with head and sole plates and noggins at 400mm centres, 100mm Celotex GA4000 insulation to be provided between studs and Gyproc plasterboard with VCL over studs.
Finish with 3mm skim coat of finishing plaster. All junctions to have water tight construction, seal all perimeter joints with tape internally and with silicon sealant externally.

White Agus
PARTNERSHIP

ARCHITECTURAL SERVICES

Project.
PROPOSED LOFT CONVERSION
20 WESTBOURNE GROVE
BARNSLEY, S75 1AE

Client.
MR & MRS JARVIS

Drawing
Title.
PLANS

Date.
24/06/2019

Scale.
1:50 @ A1

Ref.
19-033

Dwg. No.
01

Rev.
A

Date	Suffix	Description	Date	Suffix	Description
24/06/2019	A	REVISED TO CLIENTS REQUIREMENTS			

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