

Design and Access; Flood Risk and Heritage Statements

Site Address:

Nine Hole Cottage
Dean Head Farm
Snowden Hill
Oxspring
SHEFFIELD
S36 8YR

Author:

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Design and Access Statement

The proposal:

There are 2 distinct parts to this application one element is the alterations to the existing property and the other is for the removal of an old storage container and the erection of a detached garage/workshop/store and stable.

Context:

Physical

Nine Hole Cottage is the first of the properties heading North, along Dean Head Lane from Hunshelf Hall Lane, close to the trough of the lane where Dean Brook flows. There are two complexes of buildings in this isolated area, Little Dean Head Farm complex on the opposite side of the road and Dean Head Farm, which is comprised of: Dean Head Cottage; Little Laith: The Stables and Nine Hole Cottage.



The buildings here are largely natural coursed stone built with openings, mostly, framed with flush stone or reconstituted stone head, cill and jambs with timber windows and doors. The roofs tend to be natural stone or composite imitation

Social

No undue affect or impact on this area

Economic

The proposal will have no impact.

Policy

Policy GD1 General Development
Policy D1 High Quality Design and Place Making
Policy LC1 Landscape Character
Policy HE1 The Historic Environment
Policy HE2 Heritage Statements and general application procedures
Policy HE3 Developments affecting Historic Buildings
Policy GI1 Green Infrastructure
Policy GB1 Protection of Green Belt
Policy CC2 Sustainable Design and Construction
Policy CC3 Flood Risk

Involvement:

Pre-application advice has been sought with Barnsley Council with the client having detailed conversations with the Design and Conservation officer at Barnsley Council, Anthony Wiles. Neighbours have also been informally consulted about the proposals by the client and they have no objections.

Evaluation:

Policy

- No adverse effect on living conditions of existing residents amenity of existing and future residence; is compatible with neighbouring land and do not prejudice the current and future use; does not affect the potential development of the wider area and does not affect access to other land; no impact on landscaping other than the removal of a section of laurel hedging which is a non indicative species in this area; no impact on natural
- The alterations and addition are high quality design and respect and reflect the existing properties.
- Little impact on landscape character
- No impact or harm to the historic environment
- The proposals are sympathetic to its setting and the listing and are designed to ensure the longevity of the existing building.
- Close to 'Black Moor Common' but no impact on green infrastructure
- The proposal is sympathetic to sustainable design and construction predominantly uses reclaimed materials, timber and with some elements that utilize reconstituted stone and imitation stone roofing (lighter than natural stone therefore reducing the amount of materials in the roofing structure to support

the weight), materials that can be recycled/re-used at end of life such as aluminium, steel, stone and concrete.

- The proposals are appropriate for the setting and the alterations do not have a harmful impact on the green belt and are of a high quality design and respect the character of existing buildings

Neighbors' concerns

None

Flood Risk

Not applicable, Dean Brook is the nearest source of flooding and is of no threat to Nine Hole Cottage.

The design component in more detail:

Use:

The land is domestic and will remain domestic residential

Amount:

The house and domestic garden are unaffected and the land to be built on is currently mainly hard landscaped for parking with a container for storage. The new garage/workshop/store and stable retains parking and ensures secure parking and storage and use of tools and equipment for personal none commercial use. The large garage will enable the secure storage of a horse box trailer as well as Tack.

Layout:

Scale –

Nine Hole Cottage is subservient to The Stables stepping down 1.2m. The garage/workshop/store and stable has its ridge set 2.5m below that of Nine Hole Cottage and setting back from the front line of Nine Hole Cottage by 4.0m, making it subservient to the whole complex.

The garage store is set on land separated by the access driveway. The footprint of the proposed garage store uses 37% of the land (which includes a 1.5m overhang)

Landscaping:

The area for the garage/workshop/store and stable is largely gravel hard landscaped to enable parking. It has a large laurel hedge to one side and a smaller one to the other boundary, which is to be removed. The proposals intend to retain gravel for the driveway, enabling water to percolate through and drain away naturally.

Appearance:

The first aspect of the proposal is the alterations to Nine Hole Cottage. These alterations include:

- Replacing timber windows with narrow profile coated aluminum frames casements.

All windows will be a single casement opening sash type with no mullions or transoms (See appendix 1). This will give the appearance of openings in the walls not windows with the reduced framing, as well as letting more light in.

- Altering a window to the lounge on the rear so it is a full height window.
Before conversion this was originally a door and has the stone jambs in place still. It currently has a timber window with one opener and one fixed, the proposal is for one large fixed pane (See appendix 2).
- The addition of a new window between the entrance door and the new full height window.
- The increase in size of kitchen window to the roadside.
When originally being converted the plan was to have this as a larger window and was on the approved plans (see appendix 3). The kitchen is very dark and only has 2 modest windows and one small window.
- The addition of a new window and roof window (conservation Velux) to let natural light onto the stairs and landing to the roadside section of roof.
This part of the dwelling has no natural light or ventilation at present and would greatly benefit from the addition of windows.
- The replacement or warn Jambs, cills and lintels (heads).
Unfortunately, and with the best intensions, when first converted attention was on retaining as much of the original and re-using stone were possible. This has led to the use of materials that are badly worn/damaged in critical areas (see appendix 4) and has created problems with water ingress to openings.
- Creation of 30° splays internally to some openings, for improved natural lighting
- Raking out of Portland cement pointing and re-pointing in lime based mortar.

Again when first converted attention wasn't paid to the detail and Portland cement mortar (hard mortar) was used for pointing the whole structure; it has also been used subsequently to re-point. The original structure would be a lime based mortar, which allows the building to

breath. Over time hard mortar can create problems with interstitial condensation, which then freezes and mortar and stone can become damaged. Fortunately the stone has resisted damage but in the interests of long term preservation the raking out of the mortar and re-pointing in a lime / aggregate in ratio 1:3 (where 1 part NHL 3.5 is added to 3 parts well graded aggregate or river sand). Brushed or stippled back before curing to compact and form a gently recessed joint. (See appendix 5)

- Addition of a solid fuel burner with black metal flue liner to the rear section of roof.

The proposal is for a log burner to the lounge, in the existing chimney space and provide a new double insulated flue through the bedroom above and terminate out through the rear section of roof, 600mm above the ridge of The Stables (See appendix 6).

- Replacement of entrance door with new timber frame and timber stable door with glazing to top panel.

- Replacement Windows

Flat low profile aluminium windows and Roller shutter to be powder coated with RAL Classic 6011 (see appendix 8).

- Replacement Door

Timber doors are to be painted with 'Little Greene' Sage Green (80). (See appendix 9)

- New walls

Reclaimed natural coursed stone with reconstituted stone cills and window surround.

- Roof

Greys Roofing products, reproduction diminishing stone slates (see Appendix 10)

Designing out Crime and Anti-Social Behaviour:

The site is very open and does little to discourage theft. Nine Hole Cottage has security cameras, indicating problems with crime or the feeling of potential problems with. The proposals enable secure storage of vehicles, tools and equipment.

Access Component:

Not applicable

Flood Risk Statement

Although there is no direct risk to Nine Hole Cottage (see Appendix 7) the proposals ensure there is no adverse affect by utilizing permeable surfaces and soakaway for roof water

Heritage Statement

Summary

This report details archaeology, trees and buildings of interest and discusses the proposed development and its impact. Overall the adjustments, additions are minor and have a very limited impact on the Green Belt and indeed on any buildings of interest.

Introduction

Nine Hole Cottage was originally part of Dean Head Farm. In the 1990's the farm was given up and a large amount of farm buildings removed (see appendix 11)

Site Location

Nine Hole Cottage is the first of the properties heading North, along Dean Head Lane from Hunshelf Hall Lane, close to the trough of the lane where Dean Brook flows. There are two complexes of buildings in this isolated area, Little Dean Head Farm complex on the opposite side of the road and Dean Head Farm, which is comprised of: Dean Head Cottage; Little Laith: The Stables and Nine Hole Cottage.

Relative Significance

Trees

No trees close by or in the proximity that are of significance.

Archaeology

None in this area

Buildings of Significance

The Laithe The Stables and Nine Hole Cottage were first listed in 1970 and amended in 1986 and are Grade 2 listed, ref: 1287074. However Nine hole cottage is a later addition and is 'not of special interest', according to the listing statement. It appears that the areas of interest are principally the timber structure inside the Laithe and Stables. The Laithe and The Stables were significantly adjusted externally with walls being rebuilt and new reconstituted stone cills, heads and jambs used round openings. The roof was also re-covered with a new, none stone alternative.

As Nine Hole Cottage was a newer addition to the barn complex, the walls were in better condition and limited numbers of openings were proposed and re-used stone was used to form cills, heads and jambs. Unfortunately these adjustments did not provide the property with sufficient openings to allow enough light into the property and at the time larger openings should have been sought and justified.

Development Proposals

The proposals are for 2 distinct elements:

1. Renovations and adjustments to the original property of Nine Hole Cottage
2. Construction of new Garage/Workshop/Store and stable

Assessment of Impact

Item 1

The adjustments to Nine Hole cottage do not impact on a property of 'not of special interest' but do impact on the Link of barns and therefore directly impact on the principle buildings of the listing. However with the major adjustments made to the oldest barns originally the new alterations will not unduly affect the street scene, in fact it is difficult to see from the outside why these buildings would require listing it is only when venturing inside the Laithe that it becomes apparent. The barns were permitted to be converted into habitable accommodation and as such they should be permitted the basic requirements of a habitable building, that of adequate light and protection from the elements. Overall the adjustments are sympathetic, in keeping and do not detract from overall envelope of the buildings.

Item 2

This element of the proposal is a permanent feature on land adjacent to Nine Hole Cottage. The proposal involves the removal of the steel shipping container, being used for storage and the erection of a new stone building. This building will have multi purposes (stable; garage; store and workshop). The proposal is set back from the frontage of the cottages by 4.0m and its ridge is 0.5m below the eaves of Nine Hole Cottage's and will be build in a sympathetic style to the buildings it is close to and with matching materials. The building is completely obscured on the road side by mature Laurels. The new building is separated from Nine hole cottage by the driveway and is set further away to allow parking in front of the building. It is also set at 90 degrees to Nine Hole Cottage so there is a clear distinction between the gable ends of the listed buildings and roof of the new building. As such, although a permanent feature, it will not unduly detract or affect the existing complex and will actually appear like part of the original farm complex.

Appendix 1

Existing Windows Example

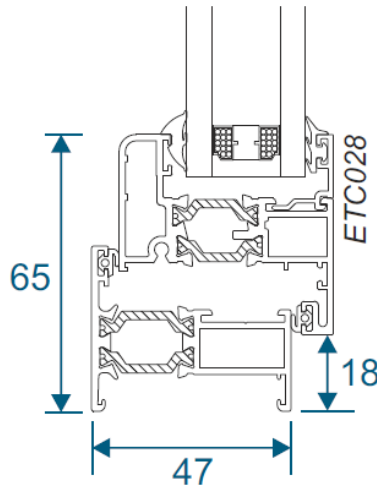


Kitchen Window to Southerly Elevation



Small Lounge Window to Westerly Elevation

Proposed Window Example (Duration Windows)



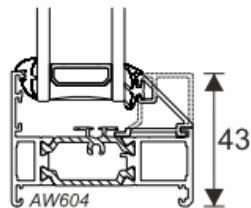
Flat Thin Profile Opener Section

Appendix 2

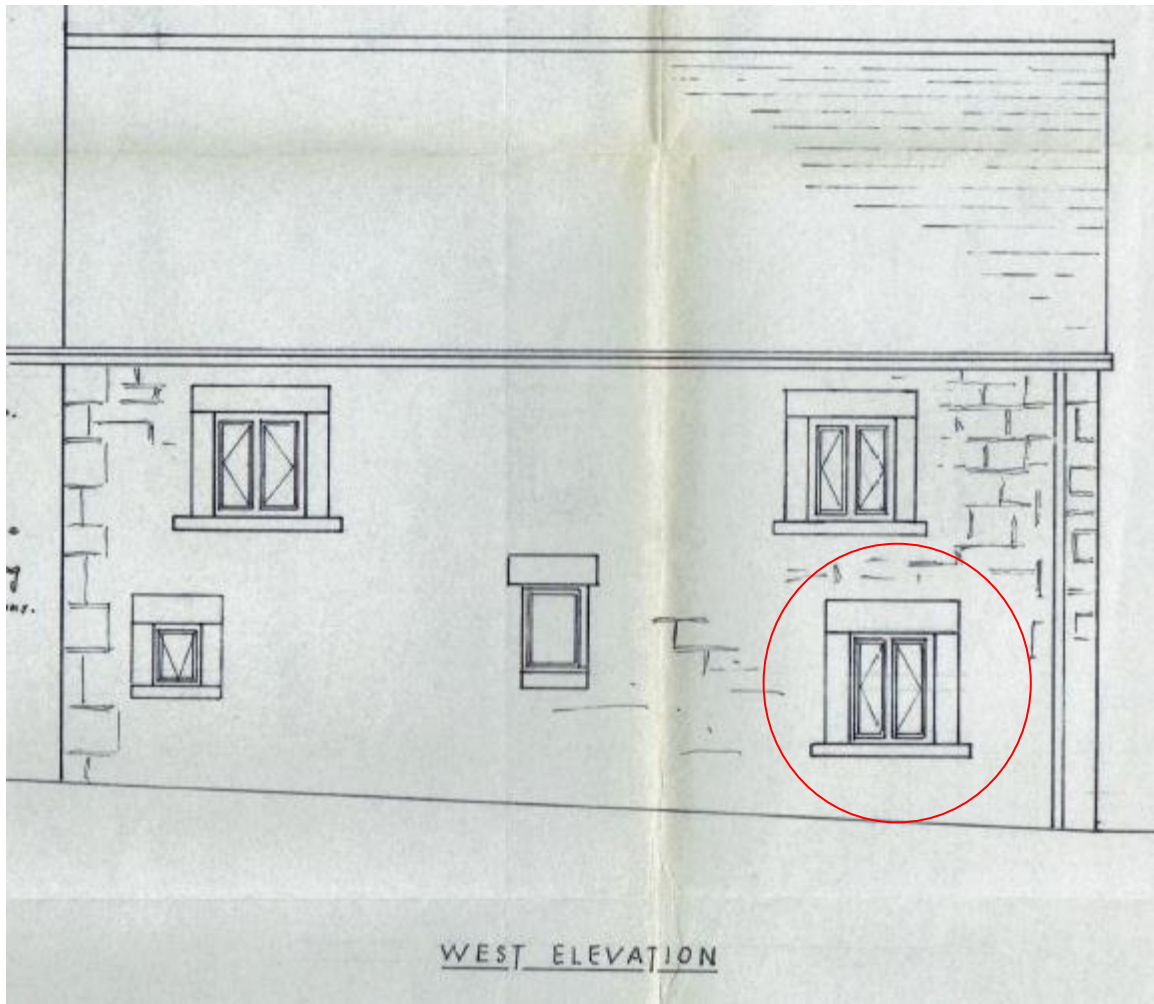
Existing small window, which replaced a door opening originally when first, converted



New fixed frame window



Appendix 3



Appendix 4



Examples of cill and head with retrospective channels cut try and prevent water penetration.



No jamb to poor stonework leaves a poor detail to seal from water penetration

Appendix 4 cont.



**Badly weathered and worn existing jambs retained
leaving a poor detail to seal**

Appendix 5



As it currently is with hard cement mortar

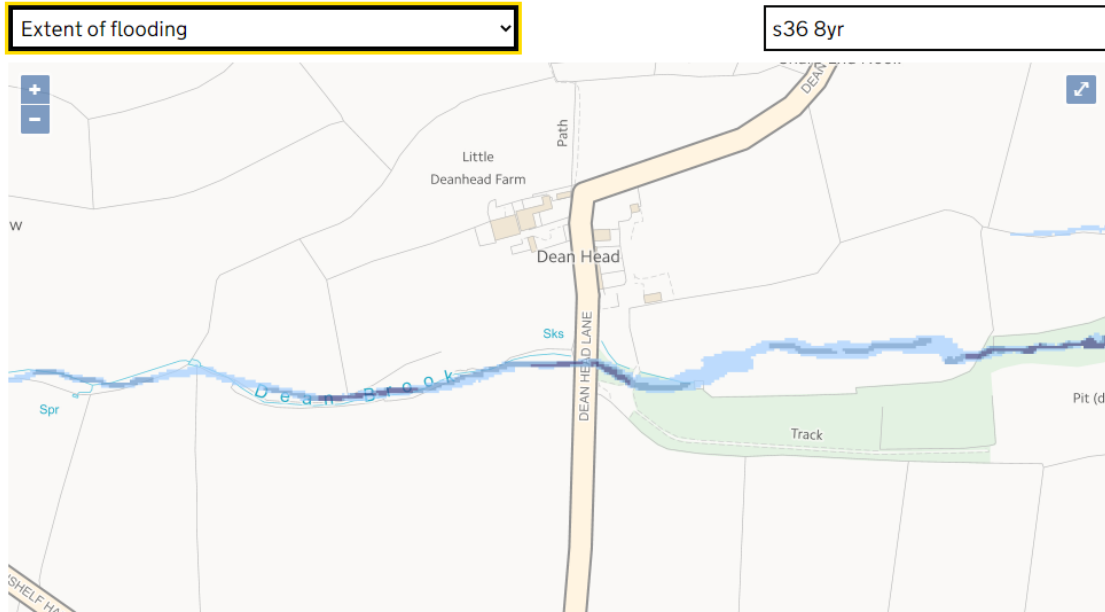


As it will be with lime based mortar

Appendix 6



Appendix 7




Appendix 8



A large square color swatch with a dark olive green color. In the center of the swatch is a white circular icon containing two arrows pointing diagonally outwards, indicating a zoom or pan function.

HEX code: #6c7c59

RGB code

Red:	108 (42%)	
Green:	124 (49%)	
Blue:	89 (35%)	

CMYK code

Cyan:	50%	
Magenta:	10%	
Yellow:	60%	
Black:	45%	

RAL 6011

Appendix 9



Little Greene Sage Green(80)

Appendix 10

greys Roofing
Products

Manufacturing Roofscapes of Distinction



Manufactured in the UK



Natural Weathered

Appendix 11

