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2024/0024

Mr James McLeod & Ms Rachel Bird

409 Doncaster Road, Ardsley, Barnsley, S71 5AG

Side and rear extension and raise height of roof to form habitable rooms in the roof space with dormer windows and balcony and changes to external finishes.

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### Site Description

The application relates to a plot located on the south side of Doncaster Road and in an area that is principally residential characterised by a varied street scene comprising a mix of dwelling types of varying scale and appearance.

The property in question is a single storey, brick-built detached dwelling with high-level vertical timber cladding to the front elevation and a gable roof with grey coloured tiling. The property is set centrally in its plot and is significantly set back from the highway and is fronted by soft landscaping and an area of hardstanding. To the rear is a small, detached outbuilding set in a modest sized garden bounded by a mix of fencing, hedges, and other mixed vegetation.



## Planning History & Other Relevant Applications

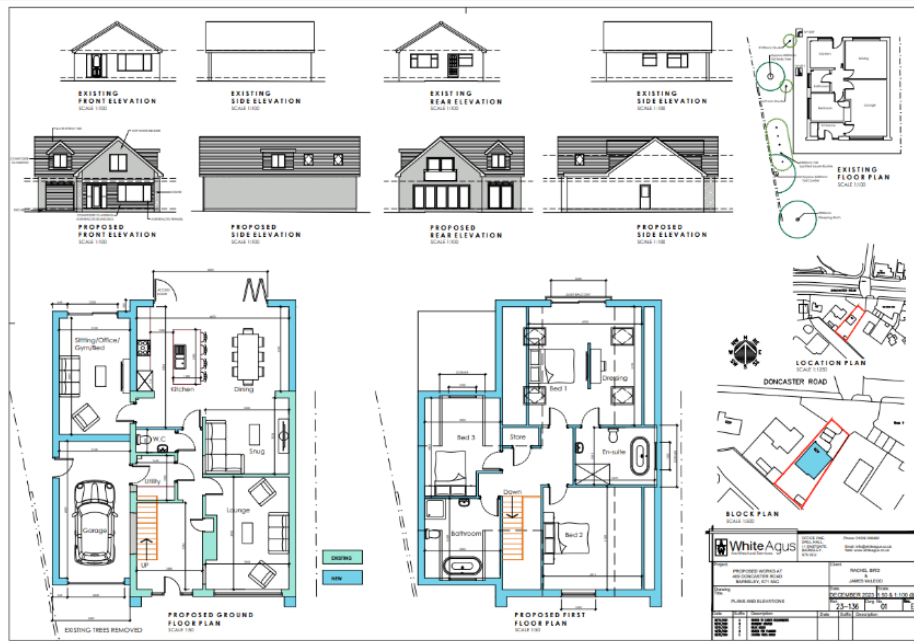
There are no previous applications associated with the application site. However, there is a planning application currently under consideration at the adjacent property, 407 Doncaster Road.

1. 2023/1139 – Raise height of roof to accommodate additional living accommodation with front and rear dormers, balcony and side, front and rear extensions. – Under consideration.

## Proposed Development

The applicant is seeking permission for extensive works to the existing dwelling to create a larger, uniquely designed detached dwelling, including the raising of the roof and the installation of pitched roof front and rear dormer windows and a flat roof side dormer window to accommodate additional living accommodation, and rear and side extensions incorporating an integral garage and a first-floor Juliet balcony to the rear.

The roof of the dwelling would be raised by approximately 1.4 metres and an extension would be erected to the south-east side of the dwelling with a sideways projection of approximately 3.4 metres. The extension would adopt a pitched roof to the front with an approximate eaves a ridge height of 3.3 metres and 6.6 metres respectively and a flat roof to the rear with a total height of approximately 3.5 metres. An additional extension would be erected to the rear of the dwelling with a rearward projection of approximately 4 metres and would adopt a gable roof with an eaves and ridge height of 3.3 metres and 6.6 metres respectively. External materials would include slate effect tiling, off-white render, red brick, stonework, composite cladding, and anthracite frames.



## **Policy Context**

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

### National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

### Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

## **Consultations**

No consultees were consulted on this application.

## **Representations**

Neighbour notification letters were sent to surrounding properties. No representations were received.

## **Assessment**

### Principle of Development

Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

### Residential Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The application dwelling is located to the south-east of adjacent property, 407 Doncaster Road. It is acknowledged that the proposed increase in height and extension to the rear of the application dwelling could result in additional overshadowing that could impact side and rear-facing habitable room windows of 407 Doncaster Road. However, 407 Doncaster Road is set in from the boundary line and the proposal would not exceed the 45-degree rule (which is applied to assess and limit the extent of overshadowing).

The application dwelling is located to the north-west of adjacent property, 411 Doncaster Road. It is acknowledged that the proposed increase in height and extension to the side and rear of the application dwelling could result in additional overshadowing. However, development located to the north and west of neighbouring properties are generally considered to have a lesser impact than those located to the south. Moreover, the 411 Doncaster Road is set in from the boundary and therefore any potential impact is likely to be limited to a driveway and existing detached outbuildings abutting the boundary line.

The installation of new front, side and rear dormer windows, the installation of side-facing roof lights, the installation of new first-floor windows to the front and rear elevations, the installation of new ground floor glazed sliding and bi-folding doors to the rear elevation and a first-floor Juliet balcony to the rear are proposed. The front-facing windows would maintain an existing separation distance from properties located on the north side of Doncaster Road and Chapel Street. The first-floor rear-facing windows and Juliet balcony would maintain a sufficient separation from the rear boundary with no properties immediately opposite. It is acknowledged that the windows would face a playing field in relation to Oakhill Primary School. However, any potential impact is likely to be similar to that which could exist as a result of other two-storey dwellings with first-floor rear-facing windows. The proposed side-facing dormer window would face towards the south-east elevation of 407 Doncaster Road which features a ground floor habitable room window. However, it is not considered that the dormer would result in significantly increased levels of overlooking, especially as it would serve a non-habitable room that is unlikely to be in continuous use throughout the day.

This application proposes various extensions to the application dwelling that would not directly obstruct any habitable room windows of neighbouring properties and would therefore be unlikely to result in reduced levels of outlook.

Planning application 2023/1139 is currently under consideration at 407 Doncaster Road and seeks permission for "raise height of roof to accommodate additional living accommodation with front and rear dormers, balcony and side, front and rear extensions". Consideration has been given to the potential impact that the proposed development (2024/0024) could have on the neighbouring property (407 Doncaster Road) as existing and as proposed. It is not considered that the proposed development to 407 Doncaster Road would impede the proposed development under consideration as part of this application. The detail of which is considered as part of planning application 2023/1139.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

### Visual Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they do not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The application dwelling is a detached bungalow prominently located on the south side of Doncaster Road and opposite the junction with Chapel Street. The existing property shares a similar scale and appearance with adjacent property, 407 Doncaster Road. However, the wider street scene is more varied and is characterised by mixed dwelling types of varying scale and appearance, including varying roof types and external materials.

The proposal would increase the width and height of the application dwelling fundamentally altering the existing character of the property and resulting in the appearance of a two-storey dwelling. It is acknowledged that this could contrast somewhat with adjacent property, 407 Doncaster Road. However, the proposal has been designed to appear as a uniquely designed detached dwelling in a varied street scene with no uniform house style, various roof types with varying ridge heights and pitches, and the utilisation of room in the roof space facilitated with the inclusion of dormer windows. Therefore, whilst it is proposed to increase the height of the application dwelling, this would not be out of character with the area. The proposal would also retain some elements of the existing character of the application dwelling by retaining a gable roof albeit extended and altered to deliver the design aim of creating the appearance of a uniquely designed detached dwelling. The roof above the proposed south-east side extension to the application dwelling would adopt a sympathetic form and would not exceed the height of the main dwelling. The extension would be set back from the main front wall of the property therefore lessening its prominence and dominance and further harmonising the dwelling into its surroundings. The proposal includes a side-facing flat roof box dormer window that would be visible from the public realm. Whilst not preferred, the dormer would be relatively small and would be set back in the roof plane from the main front wall of the property. As such, the dormer is likely to appear sufficiently discreet and is therefore not considered to be significantly detrimental to the character of the surrounding area.

The existing dwelling is constructed of brickwork with grey coloured tiling and timber cladding to the upper part of the front elevation. The proposal seeks to adopt a mixed material palette comprising slate effect tiling, off-white render, red brick, stonework, composite cladding, and anthracite frames that would contribute to a modernised aesthetic and would reflect the design aim to create the appearance of a uniquely designed detached dwelling in a varied street scene. The proposed external materials could contrast somewhat with adjacent property, 407 Doncaster Road. However, the materials would not be dissimilar to existing materials seen in the exterior of properties in the surrounding area.

As previously stated, a planning application (2023/1139) proposing similar development is under consideration at 407 Doncaster Road. The proposed development of the application dwelling (409 Doncaster Road) would be proportionate to the scale of the existing property and would maintain an existing gap between the application dwelling and 407 Doncaster Road, therefore avoiding an overbearing and imbalanced appearance. Additionally, when viewed against 407 Doncaster Road as developed, the proposal under consideration would adopt a similar scale (including ridge height) to that of a side extension to the neighbouring property.



The proposal is therefore considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

### Highway Safety

The proposal includes various extensions to the side and rear of the application dwelling with the south-east extension incorporating a ground floor integral garage.

The proposed garage would not meet the internal space standards for development of this type as outlined in the South Yorkshire Residential Design Guide and would therefore not be included in the total parking provision of the application site. Nevertheless, it is acknowledged that the garage could accommodate some modern vehicles and sufficient parking spaces would be provided to the front to accommodate a minimum of two off-street parking spaces, in accordance with the parking SPD. As such, it is considered that highway safety would be maintained to a reasonable degree.

The proposal is therefore considered acceptable and in compliance with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

### Other Material Considerations

The southern boundary is formed by mixed vegetation, including some existing unprotected trees. The proposal includes the removal of all existing vegetation and trees to the front and side of the application dwelling to facilitate the proposed development. A separate tree is located in the rear garden towards the southern edge of the plot. Discussions with the Forestry Officer did not identify any specimens as constraints to development nor any that the Local Authority could seek to protect. Therefore, no objections were raised.

**Recommendation -  
Approve with Conditions**