

DESIGN AND HERITAGE STATEMENT

This statement has been prepared in support of an application for Full Planning Permission for works within a Conservation Area and includes a Conservation Area Impact Assessment.

1.0 Proposals

- 1.1 The works involve the demolition of an existing single storey dwelling and it's with a new two storey dwelling with and integral semi-basement garage.

2.0 Location

- 2.1 No 20 Tivy Dale is located at the south western edge of Cawthorne Village. An indicative plan is shown below and a scale site location plan is included as part of the application documents.



Fig 01. Aerial view and location plan with approximate boundaries edged red.

3.0 Assessment

- 3.1 No 20 Tivy Dale is a single storey dwelling built in random stone with a low-pitched roof with overhanging eaves and verges covered with concrete tiles and flat roof side and rear extensions. The existing dwelling sits above the level of Tivy Dale (road) with floor

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level being 2.6m above footpath level. The house site on a small plateau with rear ground levels continuing to rise to the western boundary.



Fig 02. View from Tivy Dale looking south west towards the site.



Fig 03. View of existing dwelling from existing access to Tivy Dale looking south west.

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Fig 04. View of existing dwelling from south garden looking north west.



Fig 05. View of rear of dwelling looking north east.

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Fig 06. Flat roof extension to rear and typical random stone walling.



Fig 07. Flat roofing to rear and side (north).

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- 3.2 The existing dwelling has ill-proportioned window openings with dark brown Upvc window frames and doors and brown plastic gutters and rainwater pipes. Flat roofing is in dark grey single ply membrane overlapped onto deep dark brown Upvc wood grain fascias – see Fig 07.
- 3.3 Boundaries to the site comprise predominantly dry-stone walls and there are a number of similar dry-stone walls garden walls forming terraces within the site as the land levels increase to the west.
- 3.4 There is a small brick-built outbuilding with a stone slate roof in the north west corner of the rear garden with dimensions of approximately 2.5 x 2.6 meters. It is proposed that this building be retained and unaltered.



Fig 08. Existing brick outbuilding with stone slate roof.

- 3.5 Other than the small outbuilding which pre-dates the main dwelling, the existing dwelling probably dates from the 1960 or 70's and has no historic or architectural merit. It is at odds with most of the buildings within the surrounding area and it does not make a positive contribution to the Conservation Area (reference conservation area appraisal Map 2B.)

4.0 Trees and Hedges

- 4.1 There are a number of mature trees to the western boundary and a mature hedge to the eastern boundary with Tivy Dale. The hedge to the frontage is quite large and provides a degree of screening to the private gardens located to the south side of the existing dwelling.

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- 4.2 A Tree Survey has been provided as part of the application documents which identifies the principal trees and hedges and their root protection areas. The proposed dwelling sits on a very similar footprint and so minimises any impact upon existing tree roots. The plans show the removal of one small apple tree and mitigation in the form of replacement planting with two apple trees in a similar location.

5.0 Ecology

- 5.1 A bat survey with an inspection and nocturnal survey was undertaken by Middleton Ecology and their report is included as part of the application documents. It found no evidence of roosting bats or bird nesting in the house. In accordance with the aim and recommendations for the NPPF and Barnsley Councils Biodiversity and Geodiversity SPD the report does recommend the inclusion of new bat and swift roost/nest provision which has been included on the design drawings.

6.0 Planning History

- 6.1 The Planning Explorer makes reference to three applications:

- *B/05/0052/PR – Erection of single storey rear extension and conversion of garage to bedrooms. - Refused*
- *B/05/0700/PR – Erection of single storey rear extension and conversion of garage to bedrooms. – Approved.*

With reference to the first two applications from 2005, there are no plans available to view on the council's website, however the refusal of the first application and the approval of a second application of the same description submitted soon after the refusal of the first suggests that a redesign was undertaken resulting in the current flat roof extensions to the original house which are present today.

- *2017/1281 – Works to remove epicormic growth and crown clean and thin lime trees to west boundary.– Approved.*

There do not appear to be any other relevant applications.

7.0 Drainage and Flood Risk

- 7.1 The site is served with a combined foul and surface water drain located adjacent to the vehicular access as shown on the Topographical Survey. Drainage within the site will be renewed and ultimately connected to the existing outfall into Tivy Dale.
- 7.2 There will be a small additional roof area of around 51sqm. If ground conditions prove to be suitable for soakaways, it may be possible to drain the sitting room roof to a soakaway in the south garden however the ground levels are more than 1.5m higher than Tivy Dale and this could lead to some discharge through the land and boundary wall which may result in the need for a positive connection. Given the very small increase in surfaced area this is considered to be the preferred option.

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- 7.3 The Environment Agency Flood Risk Maps indicate that the site is in Flood Zone 1 where there is a low risk of flooding. There are no watercourses or culverts passing through or close to the site and the risk of the works causing an increase in flood risk elsewhere is minimal. A full Flood Risk Assessment is not required for this site.

8.0 Coal Mining Risk Assessment

- 8.1 The site is located within a coal mining reporting area and one where past shallow coal mine works are possible. As such a Coal Mining Risk Assessment has been prepared and is included as part of these application documents.

9.0 Proposals

9.1 Use

The existing use of the site and buildings is residential and is located within a residential area referred to as a urban fabric on the council's Local Planning Policy maps. The proposals are to remove the existing dwelling and replace it with a new dwelling over a similar footprint. There is no change of use proposed and the site is located within a residential area. Residential use is therefore considered to be appropriate.

9.2 Amount

The site area is 1175sqm (0.12 Ha), the existing dwelling has a footprint of 153sqm excluding the small outbuilding (6.5sqm) which will be retained. The proposed dwelling will have a footprint of 204sqm.

The gross internal floor area of the existing dwelling is 133 sqm and the proposed floor area of the replacement dwelling including the garage is 337sqm.

The proposed dwelling sits over the exact footprint of the existing dwelling and the increase in footprint is due mainly to the addition of a single storey sitting room to the south garden area. As a result of the alterations the proposed dwelling will occupy just 17% of the site area and retain generous private garden spaces.

9.3 Layout

The overall layout and arrangement of the vehicular and pedestrian access and even the arrangement of the internal rooms is very similar to that of the existing dwelling. The existing car parking remains unchanged but will give access to a partially subterranean garage to provide some secure parking and is large enough to accommodate three cars.

Principal rooms face east and west towards Tivy Dale and the private rear garden and there are no adjacent dwellings that would be affected by overlooking.

The site levels dictate that a stepped approach will be required, as is currently the case, although there is room to store waste bins at road level to the rear of the garden boundary wall adjacent T12 to be taken to the roadside for emptying.

9.4 Scale

The existing dwelling is single storey and sits in an elevated position with its floor level of 98.680 being approximately 2.6m above the footpath level of Tivy Dale (road frontage). Whilst it is a modest dwelling, of limited height and scale, the existing buildings either

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side are much larger two storey located in elevated positions above Tivy Dale to suit the rising ground levels to the west.

Dale House to the south is a large two storey private dwelling with a ground floor level of 100.300 and a ridge height of 108.600. To the north is the Village Hall which has a floor level of 99.980 and a ridge height of 108.500.

The proposed replacement dwelling has a ground floor level of 98.600 which is the same as the existing dwelling. The floor level is 1.4m lower than the Village Hall and 1.7m lower than Dale House.

The ridge height of the proposed dwelling is being increased by 3.88m to 106.800 and will be 1.7m lower than the ridge height of the Village Hall and 1.8m lower than the ridge height of Dale House.

The eaves height and ridge height of the proposed dwelling represent an increase of 2.33m and 3.88m respectively, compared to the existing dwelling but are still significantly lower than both adjacent buildings within the streetscape.

The mass and scale of the proposed dwelling is also visually reduced by the retention of the mature hedgerow to the site frontage, maintaining screening from Tivy Dale and the backdrop of mature trees to the rear western boundary as shown in the site section below.



Fig 09. Typical section through site – refer to drwg P05 for full elevations.

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Clearly the proposed replacement dwelling is higher than the existing dwelling but it is proportionate to the surrounding buildings which are of a larger scale and well-spaced within large plots, separated by mature landscaping such that the scale of the proposed dwelling has no detrimental impact upon the local area, the streetscape or the wider Conservation Area. Any minor visual impact is mitigated by the upgrading of the design and the materials used to construct the proposed dwelling as referred to under appearance in para 9.6.

9.5 Landscaping

The site benefits from mature gardens with trees and hedges the majority of which will be retained. There are no proposals for the removal of any significant trees although one apple tree is to be removed to make way for an increase in the footprint of the building. Mitigation planting has been proposed in the form of two apple trees in a similar location.

Details of proposed hard landscaping is provided on the proposed plans ref P04.

9.6 Appearance

The Councils planning policies state that:

.. development within a conservation area will only be permitted if it is considered to enhance or preserve the character and appearance of the area; and

Development within a conservation area including demolition allows for controlled change to promote the viable use of buildings (and land).

In this particular case the existing building, due to design and the use of inappropriate materials, contributes very little, and it could be argued, detracts from the character of the conservation area.

The existing dwelling is single storey with a low pitched and overhanging roof covered in concrete tiles, with areas of flat roof to the side and rear, walling is in random and not coursed stone, window proportions are generally inappropriate and window and door frames, gutters, rainwater pipes and fascias are in plastic.



Fig 10 – View from Tivy Dale

The only positive contribution is made by a mature hedge along the site frontage which screens the existing dwelling from Tivy Dale – see Fig 02.

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The proposed dwelling is predominately two storeys with a sub terranean basement garage adjacent the access at the north end of the site.

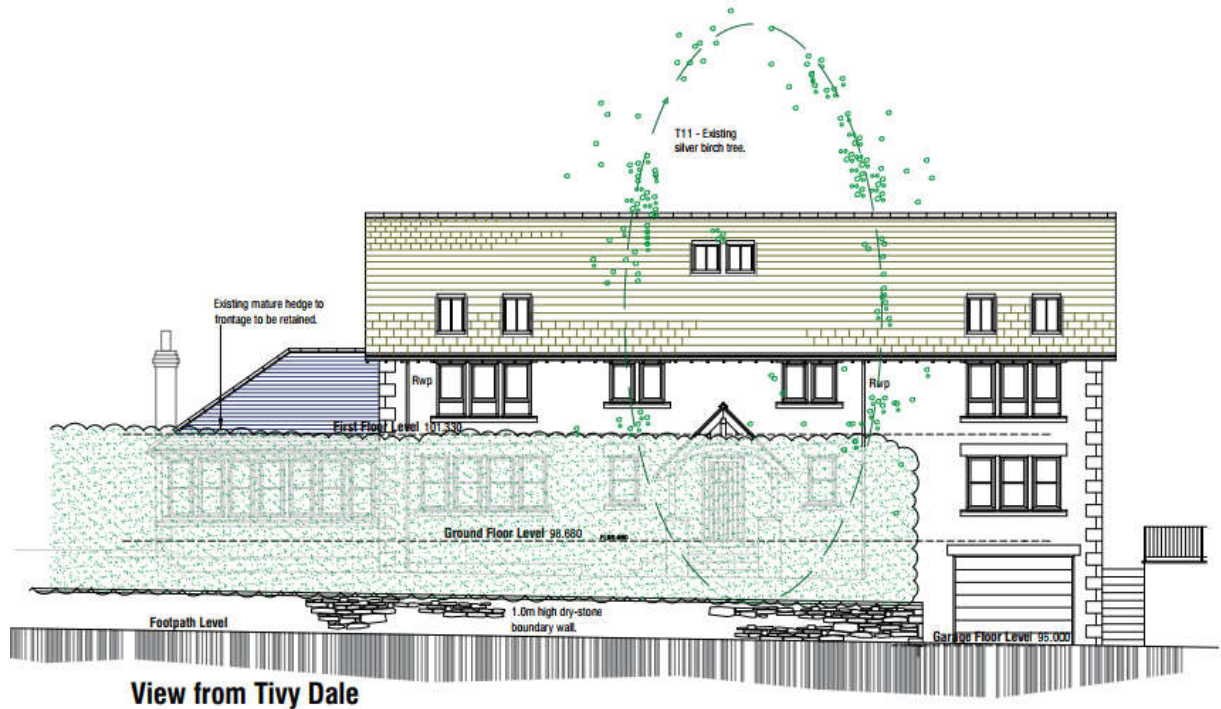


Fig 11. View of proposed dwelling from Tivy Dale

It is constructed over the same footprint as the existing bungalow with a small increase in footprint to the south to accommodate a single storey sitting room. The building retains a simple wide frontage and narrow span plan form which is consistent with many of the surrounding buildings. The roof has a steep pitch and slight overhang similar to the adjacent Village Hall and Dale House.



Fig 12. Cawthorne Village Hall (above)



Fig 13. Dale House from Tivy dale (Right)

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Roof coverings are a mix of natural stone slates to the main two storey roof and blue slate to the single storey sitting room; walling is to be in natural regularly coursed slightly pitched stone in narrow courses of between 75-125mm similar to that of Dale House and shown in the image below.



Fig 14. Image showing outbuilding at Dale House.

The above image illustrates alteration works recently carried out at Dale House and shows the details and materials that would be used as part of the proposed new dwelling.

This has been carefully designed and constructed to complement the features of the main house and shows the typical stone slate roof, eaves and verge, gutter and stone walling details with quoin stones and lintels that it is proposed would be used as part of the reconstruction of No 20 Tivy Dale.

Window openings have been designed with a vertical emphasis and include stone lintels, cills and mullions. A small open entrance porch has been included to the front elevation to soften the façade and create a focal point at the entrance. The porch has been designed in a traditional manner and features a supporting oak frame on dwarf stone walls.

There is a single storey element to the proposed dwelling to form a sitting room with windows to all external elevations overlooking the gardens and a roof covering of blue slate has been used to provide a contrast to the stone and slate used elsewhere and match with the blue slate of the porch roof.

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The proposed dwelling is larger than the existing bungalow which it replaces. The existing bungalow adds nothing to the character or appearance of the site or its surroundings. The proposed dwelling which will replace it has been carefully designed to respect the site constraints in terms of mature landscaping and trees, reflect the style of appearance of other buildings within the village and adopt traditional detail and high-quality materials in its construction that will enhance the appearance of the area.

10.0 Conservation Area Impact Assessment

10.1 Assessment

Barnsley Council has adopted its Cawthorne Conservation Area Appraisal and Management Plan. In addition to the local and national planning policies this document helps inform the council in making decisions on proposals for change.

No 20 Tivy Dale is located at the south western edge of the Conservation Area between The Village Hall and Dale House. The Cawthorne Conservation Area Appraisal identifies these buildings as making a positive contribution to the Conservation Area. It makes no reference to the existing bungalow at No 20 Tivy Dale.

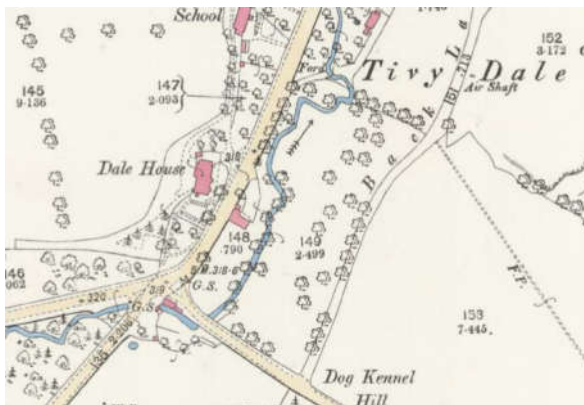


Fig 15. 1893 Ordnance Survey Map showing Dale House to the south and 'School' now Village Hall to the north, with no development of the land in between.

The Design Statement explains the fact that No 20 Tivy Dale is a relatively modern single storey dwelling built of random stone with a low pitched concrete tiled roof, with areas of felt flat roof and ill-proportioned window openings with Upvc windows and plastic gutters and fascias. Its design and use of materials may today be considered inappropriate within a conservation area setting.

The site does benefit from a number of mature trees and hedges and south facing private gardens.

There are no listed buildings within 400 meters of the site and there is no intervisibility such that the proposals have no impact upon the setting of any listed buildings.

There is a small brick outbuilding with a stone slate roof measuring 2.5 x 2.6m located in the north corner of the site which has some historic value and should be retained. See para 3.4, 3.5 and Fig 08.

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10.2 Proposals, Impact and Mitigation

The proposal is to demolish the existing bungalow and replace it with a new dwelling. The existing bungalow has no historic or architectural value and makes no positive contribution to the conservation area and its demolition would not be detrimental.

We note precedent for similar works to remove an existing dwelling within the conservation area and replace them with a larger dwelling have been approved planning permission ref: 2018/1152.

The proposed dwelling has been carefully designed to complement and reflect the local vernacular in terms of its plan form, steeply pitched roofs, construction details and use of high-quality local materials.

It retains existing mature trees and hedges which provide screening and a back-drop to the site which will help it to integrate and sit comfortably into its surroundings. The increase in footprint is limited and the height of the proposed dwelling is not inappropriate as has been shown by comparison to the adjacent buildings at the Village Hall and Dale House in para 9.4. The street view of the proposed dwelling shown in Fig 11 emphasises the appropriateness of the scale and the softening provided by the retained mature landscaping.

The overall impact of the proposals is considered to be very LOW and adequately mitigated by the proposed design, construction details and use of the high-quality materials as previously outlined. Overall, the impact will be minimal, and the proposals are capable of preserving and making a positive contribution to the local character and distinctiveness of the Conservation Area.

11.0 **Summary**

We consider that the proposals are local and national planning policy compliant and we look forward to receiving the local authorities support.



MBooth Design Ltd