

Design and Access Statement

1.0 Application Details

This statement has been prepared in support of a Householder Planning Application for the extension to an existing dwelling. The works involve a small single storey rear Utility Room extension and the replacement of the roof structure which will include a steeper roof pitch to allow two bedrooms and a shower room to be located within the roof space.

The site is located within the Green Belt as indicated on the Barnsley MBC Local Plan allocation maps and an assessment of compliance with Green Belt policy is included.

2.0 Location

The site is located at Brookside, Hunningley Lane Barnsley S70 3DU and lies on the to the east side of Hunningley Lane as shown edged red on the indicative plan below. The applicant owns land to the east which includes stables, a menage and a paddock which is outlined in blue on the plan. There is a graveyard to the north and agricultural land to the south.

A more accurate Site Location Plan ref:OS1 is included as part of the application documents.



Fig 01. Aerial View of the site showing the application site edged red.

Design and Access Statement

3.0 Evaluation and Assessment

3.1 Planning Policy

The most relevant planning policy is Green Belt which restrict development without special circumstances. There are policies designed to allow certain works including the extension of existing buildings which include the following:

National Planning Policy Framework

Section 13 - Protecting Green belt Land includes para 145 which states:

A local planning authority should regard the construction of new buildings as inappropriate in the Green Belt. Exceptions to this (amongst other things) are:

c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;

Such works should:

- *Not have any greater impact on the openness of the Green Belt than the existing development;*

Barnsley MBC Local Plan

Policy GB1_Protection of the Green Belt makes reference to para 89 of the NPPF (now para 145) and repeats the above policy.

The proposals involve the increase in floor area of a small rear porch to include a utility room and the replacement of the roof structure with a steeper pitch to allow for two bedrooms and a shower room to be accommodated within the roof space.

These alterations result in increase in the footprint of the building from 138.0m² to 146.2m², and an increase in the volume from 501m³ to 616m³.

This represents an increase in footprint of 6% and an increase in volume of 19%. These increases are not disproportionate over and above the size of the existing dwelling.

The limited increase of just under 1.0meters in the ridge height of the building and the formation of gables rather than hip ends to the roof, set against the back drop of the northern boundary wall and treescape, means that there is no impact upon the openness of the Green Belt. We therefore conclude that the proposals are Green Belt policy compliant.

3.2 Use

The subject property is a bungalow built in stone with a concrete tile pitched roof. There is a small porch to the rear with a flat roof. Details of the existing bungalow are provided on the survey ref: S1.

The existing use is residential and the proposed use is residential.

5.2 Amount

The existing building is single storey, it has three bedrooms and a gross internal floor area of 118m². The rear utility room extension and provision of living accommodation within the roof will increase the gross internal floor area by 60.5m² to 178.5m² and increase the bedrooms numbers to four.

Design and Access Statement

5.3 Layout

The internal layout is very similar to the existing arrangement. A new staircase located centrally gives access to the first floor with two bedrooms and a shower room. Externally the layout is unaffected and parking and turning for at least 3 cars is available.

The works do not affect the existing arrangement for the storage and collection of waste and recycling bins which are taken to the roadside to be collected.

There are no buildings within close proximity of the site that would be affected by the proposed works.

Ardley Church of England Cemetery Chapel (West) is a grade II Listed Building located over 80 meters to the north east of the site in the central area of the adjacent cemetery. It is separated from the proposed works by a 3.3m high stone boundary wall and an avenue of trees within the cemetery such that there is no impact upon the setting of the listed building.

5.4 Scale

The scale is affected by an increase in the ridge height of 0.9 meters. The overall height of the building will increase from 5.9m, measured from the ground level on the south elevation (where ground levels are lower) to 6.8m. This is required to provide sufficient headroom in the first-floor bedrooms, and has a limited impact upon the external appearance and overall scale of the building.

5.5 Appearance

The existing bungalow appears somewhat dated and has no historic or architectural merit.



Fig 02. South Elevation of Existing Bungalow showing high boundary wall to rear.

Design and Access Statement



Fig 03. South and West Elevation of existing bungalow.



Fig 04. South and East Elevation of existing bungalow.

Design and Access Statement

Fig 05. Rear North Elevation showing proch and high boundary wall to north (right).

The proposals which involve removing and replacing the existing random stone outer leaf with natural coursed sandstone, simplifying the roof structure and replacing the concrete tiles with a modern tile with a thin leading edge will improve the external appearance and result in a more attractive dwelling.

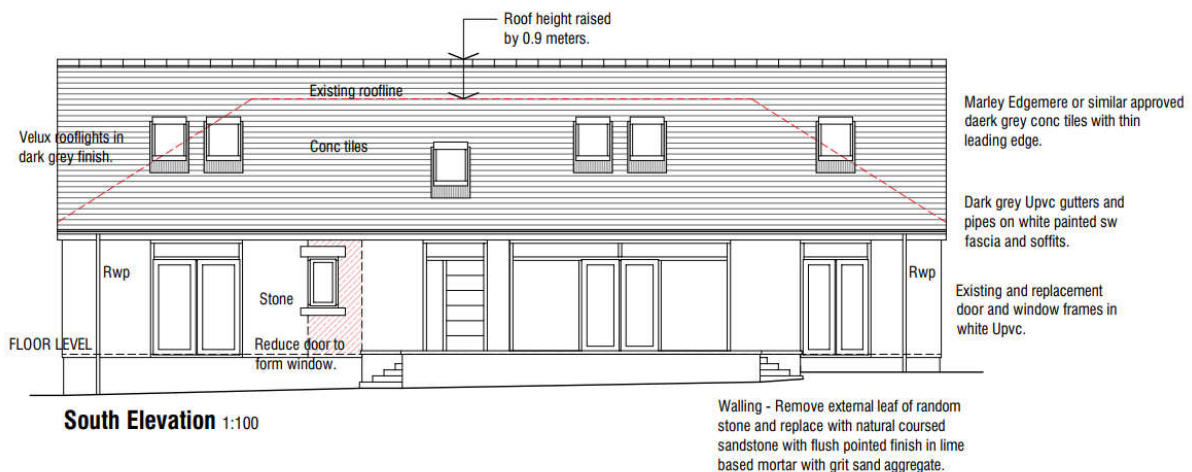


Fig 06. Proposals – South Elevation.

Rooflights with a dark grey finish will be used for natural light to the first-floor rooms within the roof space. Replacement gutters and rainwater pipes will be in Upvc with a dark grey finish. Replacement doors and windows will be in white or off white Upvc. Full details of the proposed materials are provided on drawing ref: P3 Rev A Proposals.

Design and Access Statement

7.0 Summary

The proposals relate to the improvement and modernisation of an existing bungalow located within the Green Belt. The works will improve the appearance of the existing building and involve extensions which are proportionate and have no impact upon the openness of the Green Belt.

We therefore consider that they are local and national planning policy compliant, they will lead to an enhancement of the local visual amenity and we look forward to the council support in respect of this application.

MBooth Design