

2024/0847

Mrs Elizabeth Denton

5 Nelson Avenue, Monk Bretton, Barnsley, S71 2LY

Erection of two storey side extension and single storey rear and front extensions to dwelling

Site Description

The application relates to a semi-detached dwelling on Nelson Avenue within the Monk Bretton area. The property is formed from red brick with a tiled pitched roof. The street scene is characterised by matching semi-detached properties with similar materials used. Some semi-detached bungalows can also be found to the rear of the property.



Relevant Planning History

2009/0502 - Erection of 2 storey side extension incorporating existing garage. – Refuse

2009/0872 - Erection of a two-storey side extension incorporating existing garage and a single storey front extension to dwelling. (Resubmission) - Approve with Conditions

Proposed development

The applicant is seeking permission for a two-storey side extension, single storey rear extension and a front extension incorporating a porch.

The proposed single storey rear extension to the south of the dwelling would have an approximate projection of 3 metres and an approximate width of 8.2 metres, projecting approximately 2.5 metres to the east of the existing dwelling. A pitched tiled roof is proposed with an approximate eaves height of 1.9 metres and a total approximate height of 3.1 metres. Bifold door have been detailed to the rear elevation spanning approximately 3.7 metres along with rear glazing to the east side of the rear elevation. Three Velux windows are detailed symmetrically with the existing second storey windows of the rear elevation. Steps have been incorporated into the east side of the rear development to allow access to the garden.

The proposed side extension builds upon the existing single storey side garage. An approximate width at single storey level of 2.5 metres is proposed with a total length of 11.8 metres at single storey level. The second storey element of the side extension will have an approximate width of 2.5 metres and an approximate length of 6.9 metres. The proposal will adjoin the boundary with 3 Nelson Avenue. Glazing is proposed to both the front and rear elevation at second storey level servicing a bedroom to the front and an en-suite to the rear. A set back at second storey level has been proposed of approximately 0.45 metre along with a set down of the ridge.

The extension to the front of the proposal extends the garage by approximately 1.4 metres. A porch has been created providing a forward projection from the existing dwelling of approximately 1.6 metres. A pitched roof is proposed with an eaves height of approximately 2.1 metres and an approximate total roof height of 3 metres.

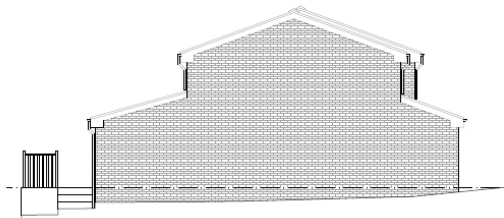
Matching materials have been detailed throughout.

05 NELSON AVENUE, BARNSELY, S71 2LY
PLANNING - ELEVATION - PROPOSED

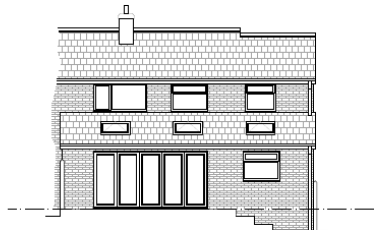
GENERAL SPECIFICATION NOTES:
BRICK: RED BRICK WITH WHITE POINTING
ROOF: RED TILED WITH WHITE POINTING
GLAZING: DARK FRAME GLAZING
GUTTERS: DARK COLOURED - MATCH GARAGE FACADE AND DOWNPIPES TO MATCH BUILDING



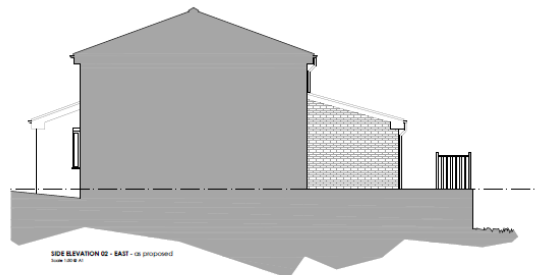
FRONT ELEVATION 01 - SOUTH - as proposed
Scale 1:50 @ A1



SIDE ELEVATION 01 - EAST - as proposed
Scale 1:50 @ A1



REAR ELEVATION 01 - NORTH - as proposed
Scale 1:50 @ A1



SIDE ELEVATION 02 - EAST - as proposed
Scale 1:50 @ A1

GENERAL NOTES:
This drawing is to be read in conjunction with all related drawings.
Ground levels have been indicated.
All dimensions are in metres unless otherwise stated.
The building is shown in its existing state and any alterations are shown in grey.
The proposed alterations are shown in grey and any existing alterations are shown in black.

ELEVATIONS PROPOSED
Scale 1:50 @ A1

PROPOSED ALTERATIONS
Planning [P03] 2024 09 14 - REV A

05 NELSON AVENUE, BARNSELEY, S71 2LY
PLANNING - PLANS - EXISTING AND PROPOSED



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- **Policy SD1: Presumption in favour of Sustainable Development.**
- **Policy D1: High Quality Design and Place Making.**
- **Policy GD1: General Development.**
- **Policy T4: New Development and Transport Safety.**

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety

Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed extension would be erected to the west of 3 Nelson Avenue and the southeast of 7 Nelson Avenue. The proposed side extension is unlikely to cause detrimental levels of overshadowing to 3 Nelson Avenue. Some minor levels of overshadowing may be seen in the evenings. The proposed side elevation does not detail any glazing preventing increased levels of overlooking. Neighbouring 3 Nelson Avenue does feature a window at second storey levels on its side elevation however reduced levels of outlook are not considered to be detrimentally affected.

Some overshadowing may occur to the rear elevation of 7 Nelson Avenue, however this is likely to be restricted to the early hours. Any levels of overshadowing will not be considered to be detrimental due to the proposal being a single storey extension. Existing boundary treatment will also help to reduce the impact of the extension.

Overlooking will be at a minimum as the majority of the proposed glazing is proposed at single storey level; the effect of which is reduced by existing boundary treatment.

The rear elevation of the proposed two storey side extension details a window. This will service an en-suite and so will be conditioned to be obscured glass in order to protect the privacy of both the applicant and any surrounding neighbours.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling,

The House Extensions and Other Domestic Alterations SPD states that a side extension should reflect the design of the existing dwelling in terms of roof style, pitch, materials and detailing and should not have an excessive sideways projection (i.e. more than two thirds the width of the original dwelling), and that all two-storey side extensions should have a pitched roof following the form of the existing roof. In addition, to prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 0.5 metres from the main front wall of the dwelling, and where practicable, a side extension should also be set in by one metre from the side boundary with an adjacent property to further avoid the terracing effect and to give the benefit of external access to the rear of the property.

The two-storey side extension benefits from a proposed setback of approximately 0.45 metre. Although this is slightly less than the desirable 0.5 metres this is considered acceptable. A lowered ridge height is also detailed. These two elements allow the proposal to be subservient to the existing dwelling. The proposal is also less than two thirds the width of the original dwelling and builds upon an existing garage extension therefore not increasing the existing width of the dwelling's footprint. A pitched roof detailed matching the roof form of the existing dwelling. This also improved the visual amenity of the property as an upgrade from the existing flat roofed garage extension.

The proposal to extend the front of the garage allows for an increased garage size which could be utilized for the storage of bins. This facility is not currently available to the property. The front extension benefits from a pitched roof element above the garage and porch which breaks up the dominance of the extension to the principal elevation. The proposed garage door and front door are of a similar size to the existing garage door and front door. This allows for the proposal to not dramatically change the character of the street scene. The proposed second storey window to the front of the dwelling matches the size of existing windows on the dwelling.

The rear elevation extension provides a pitched roof form, which although is not seen from the street is preferred. Rear Velux windows are detailed symmetrically to match the existing windows on the dwelling along with the proposed bifold doors and rear side extension windows.

Matching materials have been detailed which prevents any detrimental effect to the character of the street scene.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The proposal would result in an increase in bedroom accommodation of 3 to 4. The site already provides enough parking facilities for 2 or more cars so will not require any additional parking facilities.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Recommendation

Approve with Conditions