
2024/0959

Applicant: Killey

Address: The Laurels, Cote Lane, Thurgoland, Sheffield, S35 7AE

Description: Erection of two storey side extension to dwelling

Site & Location Description:

Located in the village of Thurgoland, close to the junction with the A629 Halifax Road, and opposite the former Thurgoland Methodist Church; the dwelling is an extended, two-story, coursed stone cottage. The main roof is hipped and tiled, but the roof on the two-story side extension, which is setback from the front elevation, is shallow pitched, almost flat roof. At the rear of the house is an attached ground floor conservatory. The dwelling's curtilage is ample, with a reasonably large and wide front and side garden which is where the double detached garage is located. The street scene is varied with various ages, sizes and styles of dwellings.



Planning History:

- **B/80/1026/PR** – Further details unknown
- **B/80/1234/PR** - Kitchen Extension – Approved with conditions 24th June 1980
- **B/81/0025/PR** - Proposed: Erection of Private Double Garage – Approved with conditions – 21/02/1981

Proposed

The proposal is for the replacement (or extension) of the existing combined single and two-storey side extension. The new extension would feature a slightly larger footprint with an increased side projection and length. The proposal would be constructed of matching Yorkshire stone and would feature a new complementary grey slate tiled roof.

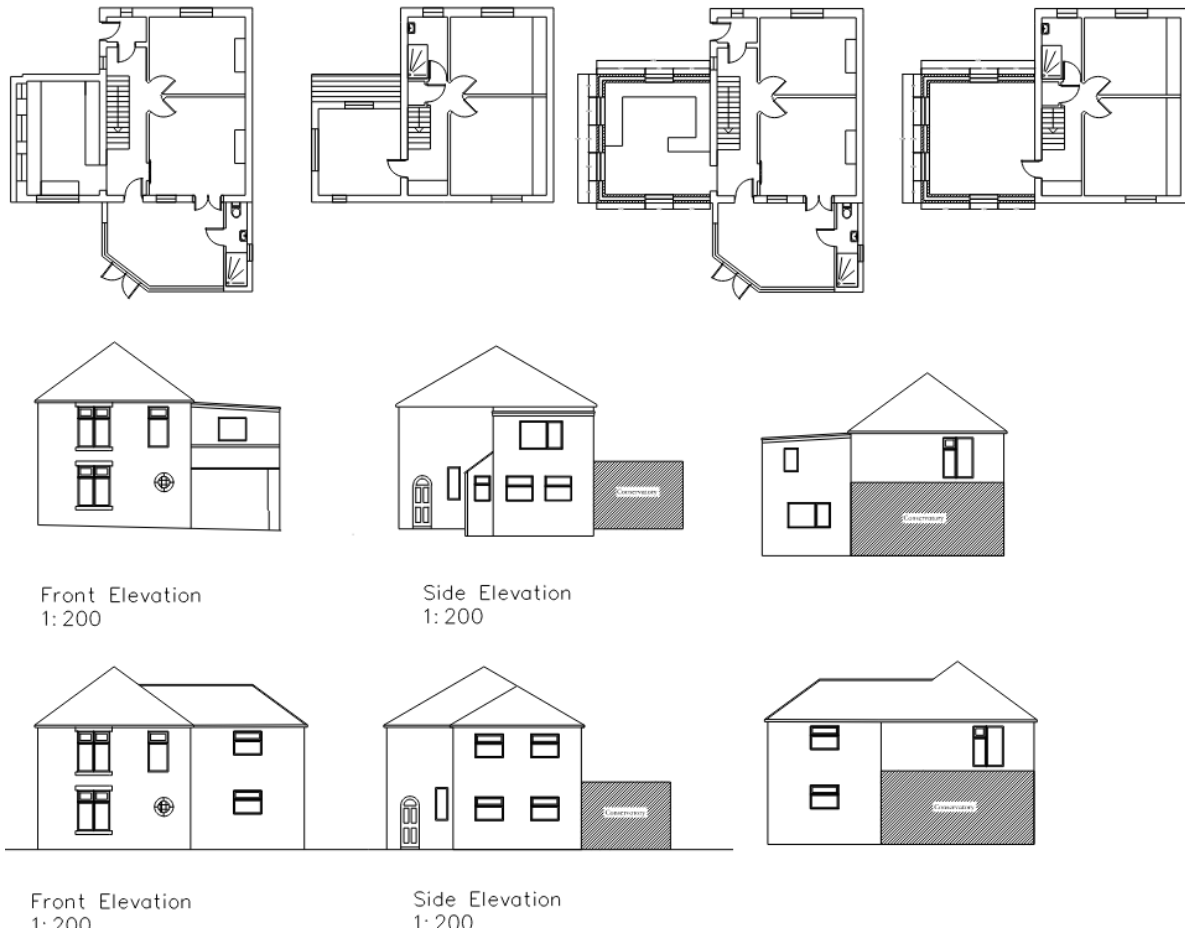
Approximate Measurements:

All existing main roof (7.8m) and eaves (5.22m) heights have been checked on the existing plans and unchanged on the proposed plans. The roof however would be slightly altered where it adjoins the new pitched roof of the extended side extension.

Side Extension (original)

- **Ground Floor Side Projection: 4.85 m (3.9m)**
- **First Floor Side Projection: 4.85m (3.8m)**
- **Ground Floor Length: 5.5m (5.47m)**
- **First Floor Length: 5.5m (4.29m)**
- **Maximum Eaves Height: 5.12m (5.22m)**
- **Maximum Roof height: 5.32m (7m)**

Existing and Proposed Floor Plans and Elevations



Local Plan Designation: Urban Fabric

Conservation Area: No

Neighbour Representations:

Letters were sent to nearby addresses; No comments were received.

Consultees:

Thurgoland Parish Council – Confirmed that the parish council had no comments or objections about the proposal.

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process. The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well-designed places -

The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.

Within section 12, paragraph 139 is the most relevant which indicates:-

Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:

a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or

b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Local Plan

In reference to this application, the following Local Plan policies are relevant:

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

SD1 - Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

T4 - New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

Due to the position of the dwelling within the broader street scene, with no residential dwellings to the rear being directly overlooked and the adjacent dwelling only featuring a small circular window, there would be a minimal impact, if any on the privacy of the adjacent neighbour or any other neighbour.

Currently there is one first-floor window at approx. 1.8m in width. The proposals include two first-floor windows each approx. 1.12m in width and 0.95m closer to the neighbouring dwelling. Because of the unusual and modest size of the circular porthole style window on the adjacent dwelling, the only window on the whole elevation, it would be assumed that it would be for a non-habitable room such as a landing or a bathroom.

Other aspects of the proposal, the width and increased roof height would have no significant impact on the amenity of any nearby dwelling.

As a result of the comments above, the proposal would not harm residential amenity in accordance with Local Plan Policy GD1.

Visual Amenity

The existing extension arguably does not enhance the character/appearance of the host dwelling or the wider streetscene. The proposed replacement roof and alterations which form this application would significantly improve both these issues.

The proposed extension meets the requirements of SPD 'House Extensions' in that it incorporates a set back from the original front extension and also has a ridge height lower than the main ridge. As such, although the extension is relatively wide for a 2 storey side extension, it would remain subordinate to the host dwelling. It should also be recognized that there is an existing 2 Storey side extension in situ which is not significantly different in footprint.

The applicant also proposes the side extension to be built from stone to match the original front elevation of the host dwelling.

As a result of the comments above, visual amenity of the application property and the streetscene would be maintained, in accordance with Local Plan Policy D1.

Highway Safety

There are no proposed changes to access or parking arrangements, which consequently means there is no impact upon Highway Safety.

Recommendation: Approve with conditions