
2022/0799
Mr D Sykes

Demolition of existing conservatory and erection of two storey and single storey rear extensions

11 The Pastures, Royston, Barnsley, S71 4RQ

Site Location & Description

The applicant's property is a detached residential dwelling located near to the head of a fairly new residential estate in Royston. The dwelling was approved in 2010 as part of a larger development for 35 dwellings. The dwelling is constructed from a mix of render, brick and cladding with a conservatory to the rear and a hard surfaced driveway to the front/side. The surrounding properties on the estate are similar in appearance to the applicant's property with a largely uniform street scene.



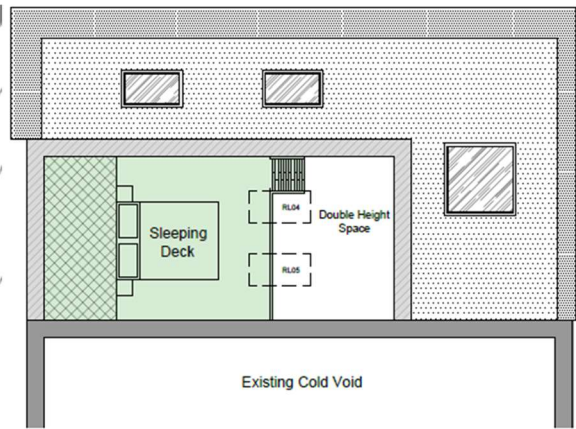
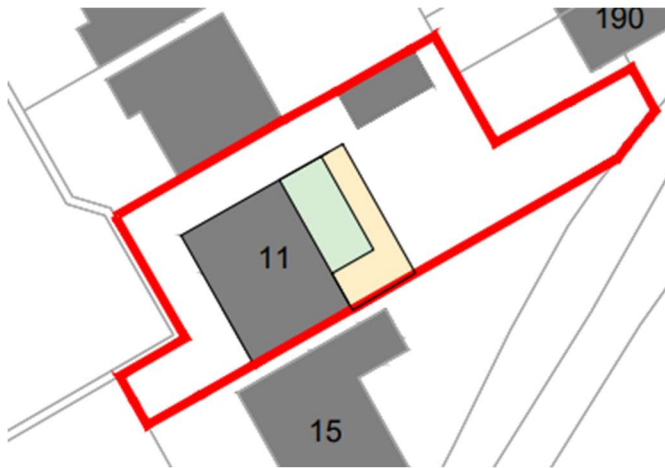
Proposed Development

The applicant is seeking approval for the erection of a single storey rear extension and a two storey rear extension following the demolition of the existing conservatory. Both elements of the extension have been amended, as shown on amended plans Revisions B and C, respectively.

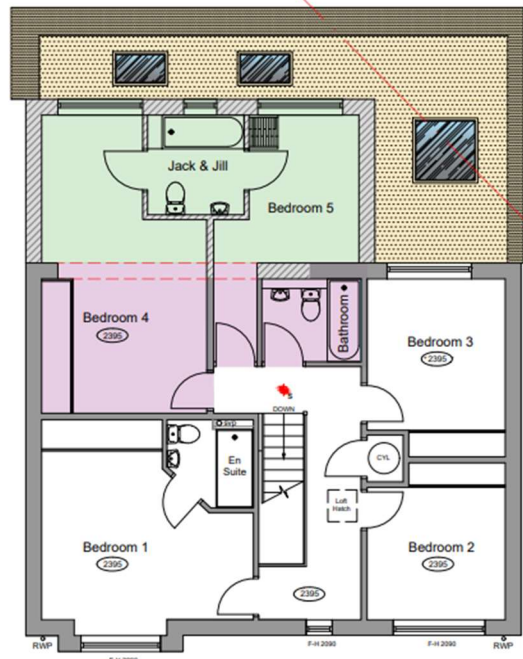
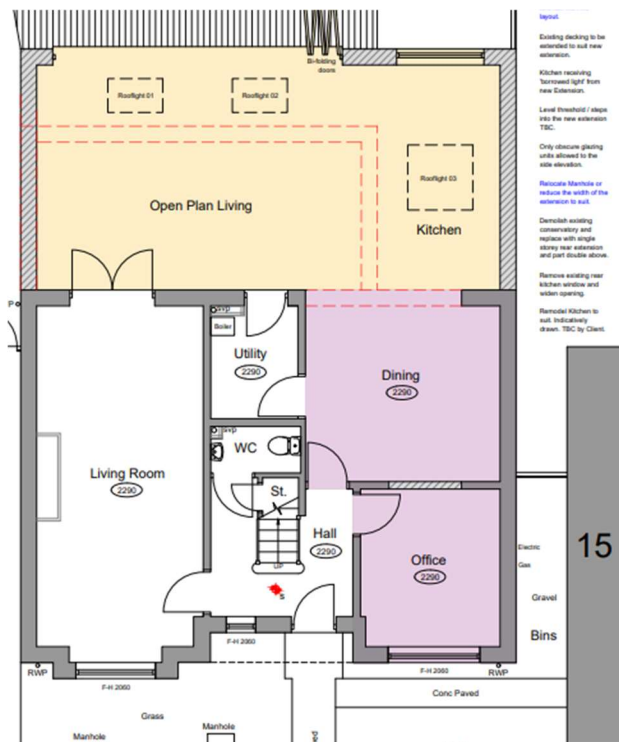
The single storey extension is designed with a flat roof, projecting 5m (reduced from 5.6m) from the existing rear elevation with a width of 10.25m across the entire width of the existing dwelling. The single storey extension has a height of 3m to the highest point which is reduced from 3.2m shown on the original plans. The single storey extension features 3 x sun lanterns.

The two storey rear extension projects 3.3m, reduced from 4m on the original plans with a width of 7.25m. The two-storey extension is designed with a pitched roof with a room in the loft space. The original plans and elevations showed a window located on the second floor serving bedroom 5 which was subsequently removed on the amended plans.

The external construction materials of the development are a mix of render and red brick to match the existing. An amended set of plans have been submitted which increased the amount of red brick on the two storey extension. The Southern elevation of the two storey extension and a third of the rear elevation is red brick. This is outlined on the proposed elevation drawings – Amended (Rev. B).



Proposed Bedroom 5 Sleeping Deck
Scale - 1:50@A1



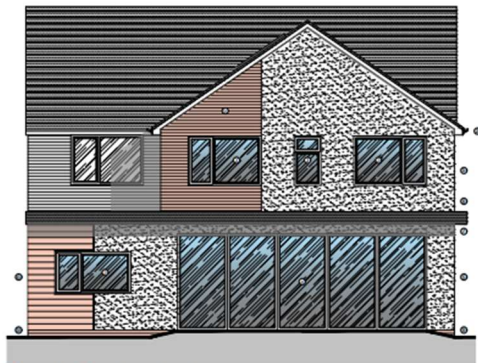
Proposed First Floor Plan
Scale - 1:50@A1



Proposed South West Facing, Front Elevation
Scale - 1:50@A1
For clarity, not all external fixtures and fittings shown



Proposed South East Facing, Rear Elevation
Scale - 1:50@A1
For clarity, not all external fixtures and fittings shown



Proposed North East Facing, Rear Elevation
Scale - 1:50@A1
For clarity, not all external fixtures and fittings shown



Proposed North West Facing, Side Elevation
Scale - 1:50@A1
For clarity, not all external fixtures and fittings shown

Relevant Planning History

2006/2008 – Change of use of ancillary building to dwelling and erection of side extension; formation of new access (Approved with conditions)

2008/0353 – Residential development of two detached houses (Outline; Approved with conditions)

2010/0249 – Residential development of 36 no. dwelling and associated works (Withdrawn)

2010/0722 – Residential development for erection of 35 dwellings (Approved subject to legal agreement)

Policy Context

Planning decision should be made in accordance with the local plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Council has also adopted a series of Supplementary Planning Documents and Supplementary Planning Guidance Notes, which are other material considerations.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well designed places - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

It is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes.

Within section 12, paragraph 130 is the most relevant which indicates that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan (adopted January 2019), alongside the Joint Waste Plan and relevant neighbourhood plans, form the statutory development plan for Barnsley. It establishes policies and proposals for the development and use of land up to the year 2033 and will be used when considering planning applications and to coordinate investment decisions that affect the towns, villages and countryside of Barnsley. The Local Plan supersedes the remaining saved policies from the Unitary Development Plan (adopted in the year 2000) and the Core Strategy (adopted in 2011).

Local Plan

In reference to this application, the following policies are relevant:

Policy SD1: Presumption in favour of Sustainable Development – sets out principles when considering development proposals.

Policy GD1: General Development – sets out appropriate proposals for development.

Policy D1: High quality design and place making – sets overarching design principles for the borough to ensure that development is appropriate to its context, and improves what needs improving, whilst protecting what is good about what we have.

Policy T4: New Development and Highway Improvement - New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

SPD: House extensions and Other Domestic Alterations

Supplementary Planning Document - House Extensions sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals for should:

1. be of a scale and design which harmonises with the existing building
2. not adversely affect the amenity of neighbouring properties
3. maintain the character of the street scene and
4. not interfere with highway safety.

These policies are considered to reflect the 4th Core Principle in the NPPF, which relates to high quality design and good standard of amenity for all existing and future occupants of land and buildings.

Consultations

None

Representations

Neighbour notification letters were sent to neighbouring properties; one comment was received which objected to the proposal raising concern with the height of single storey extension which would have an impact on the neighbouring property in terms of increasing the sense of enclosure.

Assessment

Principle of development

The site falls within the urban fabric which has no specific land allocation; however, the site and immediate surrounding area is made up principally of housing. Extensions, alterations to residential properties and the erection of domestic outbuildings are considered acceptable in these areas where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity or on highway safety.

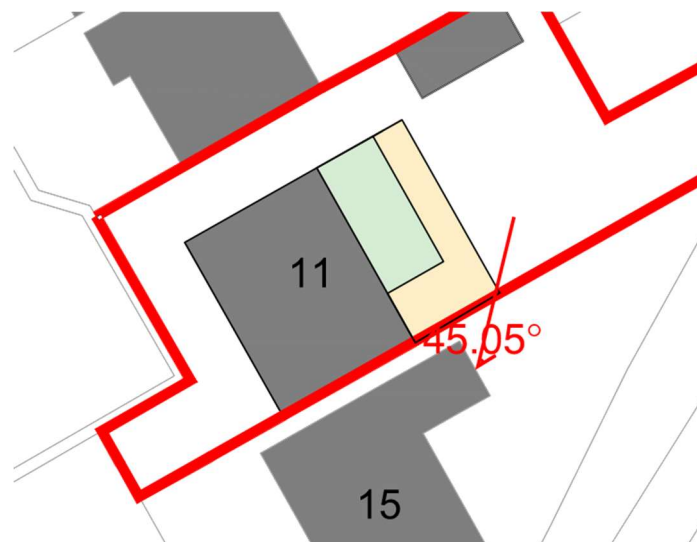
Residential Amenity

The proposed two storey extension is in fairly close proximity to the neighbouring property to the rear of the site (no. 190 High Street), at a distance of 19m which is less than the required 21m separation distance required by the SPD for House Extensions. However, it is important to note that the rear elevation (and habitable room windows) of the extension is 11m to the rear boundary line shared between the two properties which is in line with the SPD.

In looking in detail at the current situation it is the neighbouring property's rear elevation which does not meet the required 10m separation distance from rear facing habitable room windows at the first floor and the rear boundary line – as shown on the annotation block plan below. As such, there is an argument that the existing relationship is not detrimentally impacted by the extension and that the neighbouring property overlooks into the applicant's property rather than the other way around. That being said, to increase privacy for the applicants and the neighbouring property, the rearwards projection of the two-storey extension has been reduced from 4m to 3.3m which increases the separation distance to the above measurements. Given that the 10m separation distance to the rear boundary is respected, it is felt that the slight shortfall of the 21m between habitable windows is acceptable in this case. There is also a detached garage located in the applicant's rear garden which provides further screening to the other neighbouring properties to the North and North-East. Further, there is a slight stepped relationship to the properties on the Pastures in relation to the existing dwellings to the rear. The properties to the immediate North of the applicant's site have rear facing windows on the first floor which are 20m away from the rear elevation of nos. 194 and 196 High Street. This distance is obviously less than the required separation distance of 21m and is an existing relationship on site. This is reflected on the annotation site plan below. It is therefore considered within this context and taking everything into consideration, the 19m separation distance is acceptable in this case.



The two-storey extension does not fall within the 45-degree angle when drawn from the first floor rear facing window of the nearest property to the South (no. 15) as shown on the submitted site floor plans and site plan. The same plan would indicate that a significant portion of the proposed single storey extension falls within the same 45-degree angle, however, the neighbouring property also has a conservatory, and an assessment has been made from the mid-point of the rear elevation of the conservatory. This assessment is shown in the annotated plan below and a small portion of the single storey extension falls within this 45-degree angle. Additionally, permitted development rights were not removed from the dwelling from the 2010 approval for the wider site and the single storey extension has been slightly reduced in terms of height from 3.2m to 3m. The majority of the rear extension therefore (up to 4m in projection on a detached property) would be covered under permitted development rights with the remainder of 1m projection not falling within what would be allowed under permitted development. No. 15 has a rear conservatory which would look partially onto the proposed single storey extension and contains windows along the entire rear elevation of the conservatory.



A neighbouring property has objected to the proposal based upon the potential overbearing and enclosing impact over the neighbouring property. These concerns have been acknowledged and can be understood. However, the extension has been reduced to a maximum height of 3m with the majority of the build falling under permitted development rights, and only a very small portion of the extension being positioned within the 45-degree angle when drawn from the mid-point of the

neighbouring conservatory's rear elevation. The extension is also to the North of no. 15's rear garden area so the overshadowing impact will be significantly reduced.

The two-storey extension has been reduced and there is a slight stepped relationship to the properties on The Pastures with a 3m gap between the side of the two storey extension and the property to the North. The overshadowing impact will be somewhat increased onto the side elevation and part of the rear garden of neighbouring property to the North (no. 9), but this will be a marginal impact and not severe enough to warrant a refusal of the application. There is no defined maximum rearwards projection for rear extensions to detached properties in the SPD.

The proposed development is considered to be acceptable despite there being a minor impact on the neighbouring properties to the South and North-East. These minor concerns are not considered to be significant enough to warrant a refusal on the application for the above reasons.

Visual Amenity

The proposed extensions are entirely situated on the rear of the dwelling and are largely screened from view by the existing dwelling and the neighbouring properties. The proposed single storey extension is designed with a flat roof which does not fully comply with the SPD in the sense that it features a roof design which does not match the existing. However, flat roofs are much more common for modern extensions and the majority of the extension falls under permitted development rights. Additionally, flat roofs have a lower height than pitched roofed extensions and this will have benefits in terms of being able to further screen the extension from view. The rearwards projection is larger than average at 5.6m but the SPD for house extensions does not set a limit on the rearwards projection expected for single storey extensions on detached properties.

The two-storey extension features a rearwards projection of 3.3m, with the SPD not setting a specific limit for the maximum rearwards projection of two storey extensions on detached properties. For comparison, the SPD sets a limitation of 3.5m for two storey extensions on semi-detached dwellings which would indicate that an extension of this size is appropriately sized. The extension features a pitched roof similar in appearance to the existing.

The existing dwelling is constructed from red brick, render and cladding with the proposed extensions being constructed from a mix of render and red brick to match the existing. However, there were concerns with the fact that the two-storey rear extension being visible from neighbouring West End Crescent, with the majority of rear elevations visible from the street being red brick. As such, it was requested that the two-storey extension consisted of additional red brick to ensure it blends in better. An amended plan was submitted showing that the entire Southern side elevation and a third of the rear elevation of the two-storey extension will be red brick which is considered to be appropriate. The amended rear elevation is highlighted below alongside a view into the site from West End Crescent.



The amended proposal is in compliance with the general design principles in the SPD and is acceptable subject to conditions.

Highways Safety

The proposed development increased the bedroom size of the dwelling from 4 to 5 however this does not increase the required provision for off-street parking spaces as per the Council's Parking SPD. The existing parking (2 x spaces) will be retained on site which is in line with the Parking SPD and is acceptable in terms of highways safety.

Recommendation

Approve with Conditions