
2024/1097**Applicant:** Mr & Mrs Travis**Address:** 14 St Helens Close, Thurnscoe, Rotherham, S63 ORD**Description:** Single storey side and rear extension to single storey detached dwelling

Site & Location Description:

The dwelling is located in an unusual position at the end of a small cull-de-sac, located in a small, mid 1980s built housing estate in the village of Thurnscoe. Essentially a corner plot, but the detached buff brick coloured bungalow, with a gable roof, is slightly overshadowed by its neighbour at No.12, a large, detached house which sits at a 90-degree angle to the dwelling. Apart from the partial overshadowing of what is essentially the principal front elevation, although entrance doors are located on the side elevations, the dwelling borders an area of green space to one side and a proposed tuning space and bin collection point for new small development to the rear of the dwelling, so is not or would not be enclosed on two sides.

Planning History:

None since the estate of 18 dwelling received planning consent in October 1983 in application B/83/772/DE

Proposed:

The proposal has been amended from what was described as single storey side and rear extension, into an actual single storey side and rear extension. Whilst the principal entrance door is not located, like the whole row of bungalows, on what is essentially the front elevation, this would not make the front elevation a side elevation as originally described. The proposal is now aligned to the original description with a proposal for a single storey side elevation (opposite elevation to the location of the front door), which continues beyond the rear elevation into a partial wraparound extension. The proposal features a flat roof design but is proposed to be constructed of matching brickwork

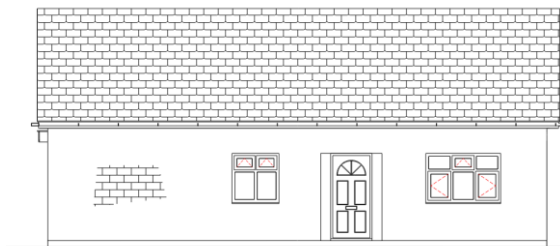
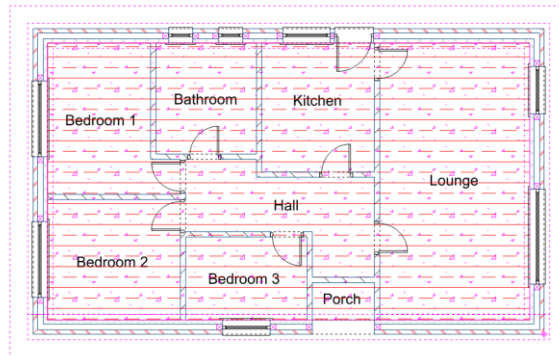
**Approximate Measurements:**

All existing roof and eaves heights have been checked on the existing plans and remain unaltered on the proposed plans. The side elevation described in the plans as the front elevation, along with the Front elevation described as Side elevation LH on the plans appear to be set at a lower ground level than their opposite elevations, resulting in a higher eaves and roof height of both the original dwelling and proposed extension.

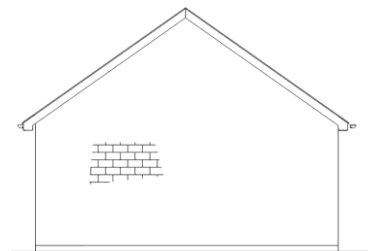
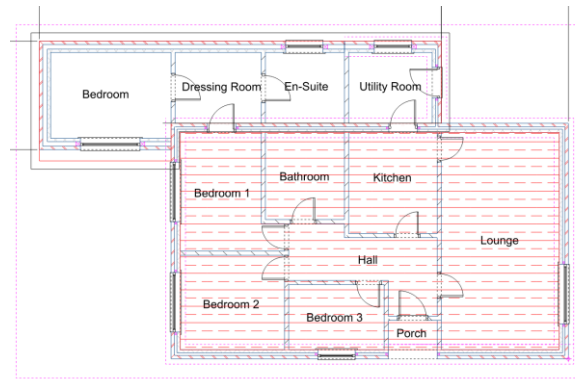
Proposed Extension (Original Dwelling)

- **Front Side Projection: 2.5m** (width 7.16m)
- **Rear Width: 3.3m** (width 7.16m)
- **Total Length: 12.22m** (12.06m)
- **Projection beyond Rear Elevation: 4m**
- **Minimum & Maximum Eaves Heights: 2.52m** (2.55m) / **2.68m** (2.69m)
- **Minimum & Maximum Roof heights: 2.75m** (5.48m) / **2.88m** (5.53m)

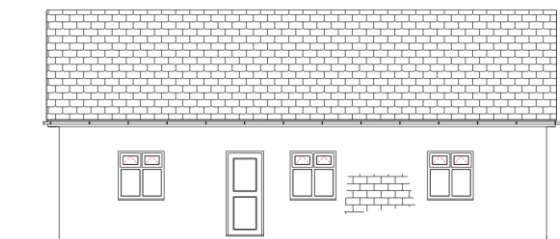
Existing and Proposed Floor Plans and Elevations



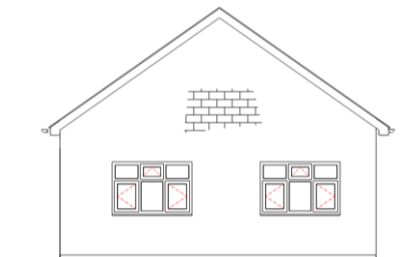
Plan: Front Elevation - Report: Side Elevation



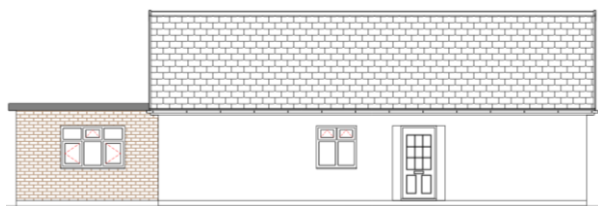
Plan: Side Elevation RH - Report: Rear Elevation



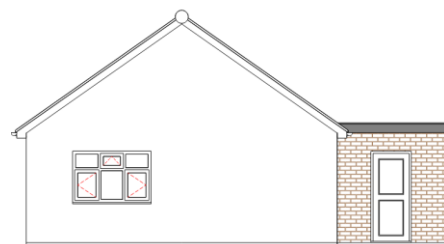
Plan: Rear Elevation - Report: Side Elevation



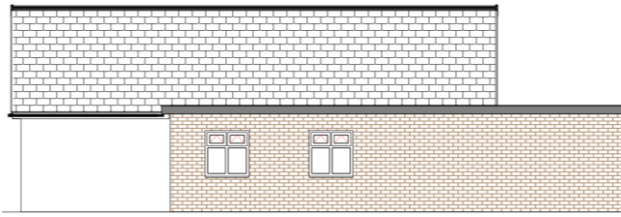
Plan: Elevation LH - Report: Principle/Front Elevation



Plan: Front Elevation - Report: Side Elevation



Plan: Side Elevation RH - Report: Rear Elevation



Plan: Rear Elevation - Report: Side Elevation



Plan: Elevation LH - Report: Principle/Front Elevation



Local Plan Designation: Urban Fabric

Conservation Area: No

Neighbour Representations:

Letters were sent to nearby addresses; No comments were received.

Consultees: None

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent, or

relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well-designed places -

The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.

Within section 12, paragraph 139 is the most relevant which indicates:-

Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or
- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Local Plan

In reference to this application, the following Local Plan policies are relevant:

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

SD1 - Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

T4 - New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

The proposal would not impact on the residential amenity of neighbouring dwellings due to its location, and the existing location of the bungalow. The bulk of the proposal is on a side elevation, described on the plans as a rear elevation, and set back from what is essentially the front elevation. The proposal would be close to the dwellings boundary which is adjacent to a small stream/drain which separates the dwelling, along with some vegetation from a large open field regarded as recreational green space but more akin to agricultural land and if it appears to be kept in a natural, broadly unkempt state.

The rear aspect of the proposal would have no or a negligible effect on the amenity of the neighbouring dwelling of No.16 or to any dwelling to the rear. Although unfinished, the land directly behind the garden is to feature a turning space and bin storage for a nearby development of five bungalows. Additionally, five replacement trees, to replace former trees lost are proposed for this area including three near the boundary with the application dwelling.

Visual Amenity

Regardless of the ambiguity over the defined labels for elevations, what is in this report is considered to be the front elevation and which the plans refer to as the LH side elevation, would be considered at the principle elevation and as a result the original proposal was deemed inappropriate due to potential harm to the visual amenity of the street scene and the negative impact of the flat roofed, large extension to the original character of the dwelling.

The revised proposal, whilst not ideal, is acceptable given the proposed new location. Whilst not the most attractive of designs through lack of a pitched roof, the proposal is hidden from the broader front street scene and whilst visible from the rear, this would hopefully be diffused once third-party trees are planted. The proposal would also be visible from the adjacent green space but as it is not obtruse enough to cause a significant negative impact upon the green space. The height of the extension is also relatively modest and partially obscured by boundary treatments.

Given the comments above, visual amenity would be maintained in accordance with Local Plan Policy D1.

Highway Safety

There are no proposed changes to access or parking arrangements, which consequently means there is no impact upon Highway Safety.

Policy Compliance & Summery

Local policies including specifically for this application the SPD house extensions and other Domestic Extensions are predominantly in place to protect the amenity of residents, maintain high standards of design, ensure appropriate development in the right locations, and to ensure development does not impact highway safety.

As has been outlined above, this development whilst not the most aesthetically pleasing does broadly achieve these goals by having very limited impact on the amenity of its residents, causing no harm to highway safety and being in an area of Urban Fabric where appropriate development is acceptable.

However, despite this, the proposal does not meet the general guidance for house extensions set out in the House Extensions and Other Domestic Alterations SPD. Specifically, the proposal does not meet guidance outlined in paragraph **7.19** which states *'The design of a single storey side extension should reflect the design of the existing dwelling in terms of roof style, pitch materials and should not have an excessive sideways projection (i.e. more than two thirds the width of the original dwelling)'*

However, similar extensions could be built under permitted development rights and similar examples can be found in the immediate area and across the borough. Also given the relatively modest size and height of the extension, and the non-prominent location, the proposal would not have a significantly detrimental impact on the visual amenity of the area in order to warrant refusal in this case. Furthermore, given the roof of the existing dwelling, and the size and positioning of the extension, it would be difficult to get a pitched roof to work without having awkward junctions and valleys.

As a result of the comments above, on balance, the amended scheme is acceptable.

Recommendation: Approve with conditions