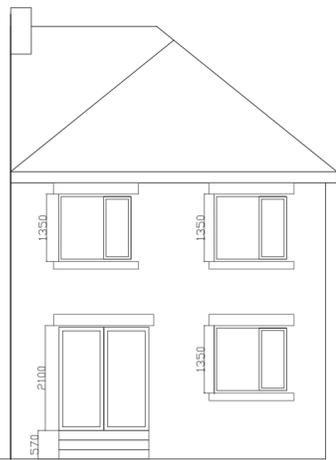
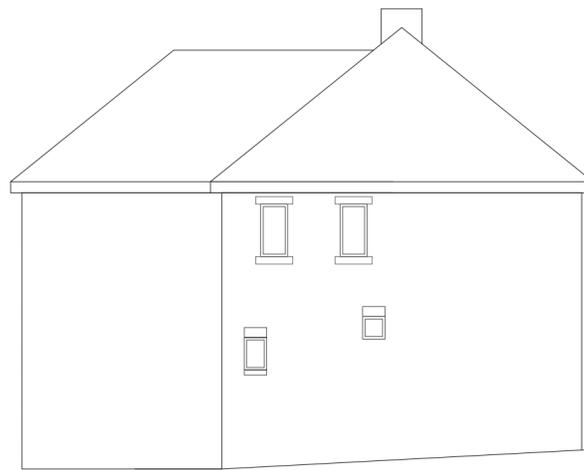




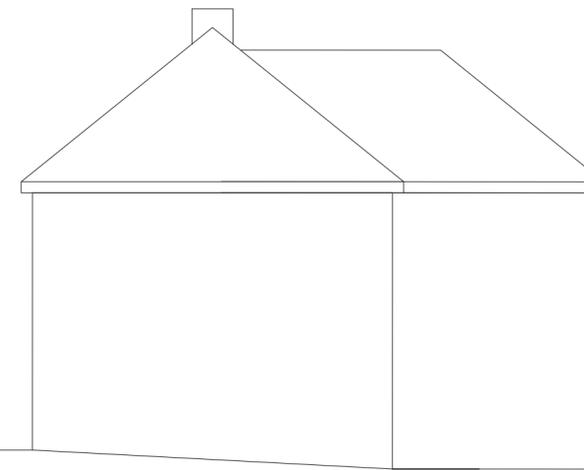
PROPOSED FRONT ELEVATION
SCALE 1/100



PROPOSED REAR ELEVATION
SCALE 1/100



PROPOSED SIDE ELEVATION
SCALE 1/100



PROPOSED SIDE ELEVATION TO BOUDARY
SCALE 1/100

SITE
29 UPLANDS AVENUE,
KEXBROUGH, S75 5DS

CLIENT
MR SCOTT BRAITHWAITE

DRAWING TITLE
EXISTING PLANS & ELEVATIONS

DRAWING NO.
71/02

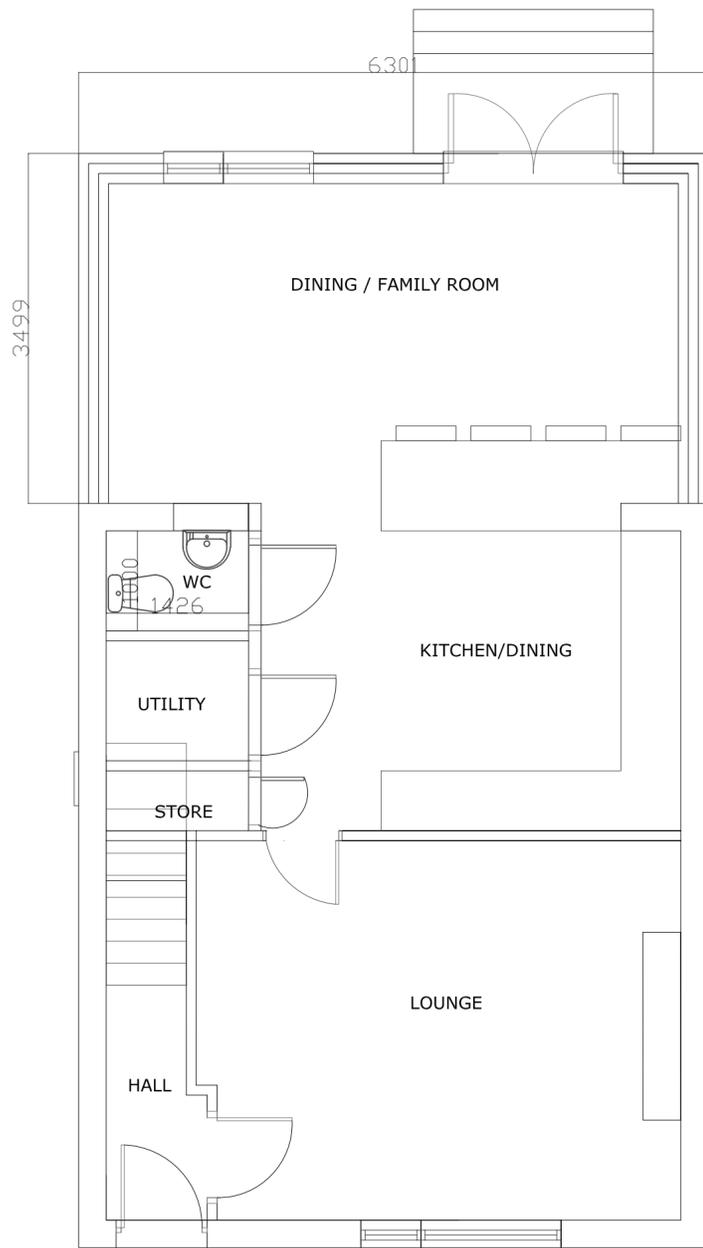
SCALE
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DATE
18/05/2025

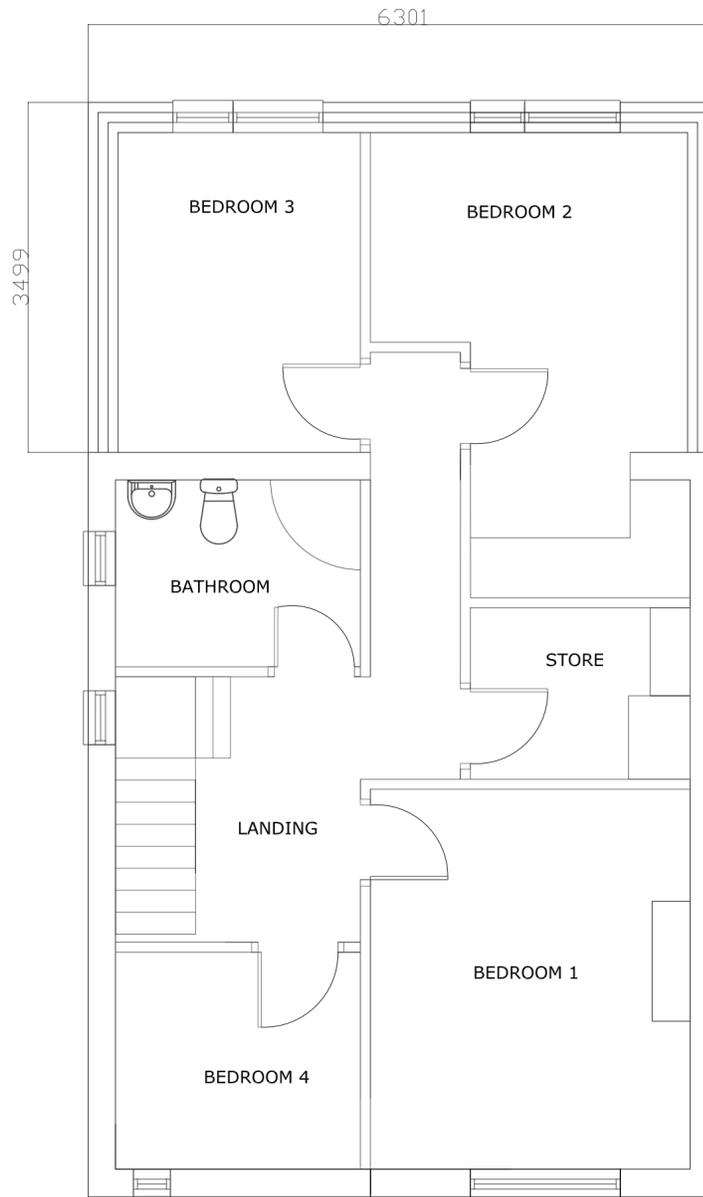
REVISION
b

Rev b - extension reduced to 3.5m as per planners requirements

MATERIALS
CONCRETE INTERLOCKING ROOF TILES TO MATCH EXISTING
FACING BRICKWORK TO MATCH EXISTING
STONE HEADS AND CILLS TO MATCH EXISTING
WHITE UPVC WINDOWS TO MATCH EXISTING
WHITE SOFFIT AND FACIA WITH BLACK GUTTERING AND WHITE RWP TO MATCH EXISTING



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN