

**Schedule of Repair Works
6 and 7 Hall Close
Worsbrough Hall
Worsbrough Barnsley**

Ref 12.42
Date Oct 2012
Version 02

The following Schedule of Works and drawings ref S1 Survey and P10 Proposals has been prepared to describe and illustrate essential repairs and alterations to the fabric of part of the existing Grade II Listed Building at Worsbrough Hall.

The works include the removal of 19C internal partitions and first floor structure and the reinstatement of part of the north elevation previously exposed by demolition works carried out in the 1980's. They also include alterations to the external elevations and the installation of two rooflights as granted Listed Building Consent 12 January 2007 Ref 2006/2085 and currently being implemented.

Contents

Section 1 Schedule of Works
Appendix A Photographic Survey
Appendix B Reduced Scale Plans



View of north elevation of Worsbrough Hall (October 2012) with protective scaffolding.



Photo of north elevation immediately following demolition indicating extent of repair works necessary.

Section 1 Schedule of Works

- 1.0 Walling
- 1.2 Rebuild north elevation of No 6 in reclaimed stone with outer leaf of 200-300mm deep coursed dressed stonework with tight joints bed in lime mortar.
- 1.3 Form openings for doors and windows as shown and build in reclaimed stone surrounds to ground floor door opening D1 and first floor window openings W12 and W13. Note: stone surrounds available from site.
- 1.4 Reconstruct chimney stack to north elevation to match original design in reclaimed stonework with dressed stonework to outer as before described.
- 1.5 Form internal fireplace openings within chimney stack and build in reclaimed arched head moulded stone surround and stone hearth at ground floor level and reclaimed stone surround with purpose made stone lintel to match original at first floor level. Form flues within chimney breast.



View of original ground floor fireplace to be reinstated.

- 1.6 Reconstruct outer skin of external wall to rear offshot on north elevation between porch window W4 and corner window W5 full height as shown on drawing No P10. Walling to be 200-300mm deep coursed dressed stonework to match existing with tight joints bed in lime mortar. Extend existing stone string course at eaves to match remaining string course above head of W9 on west elevation and reclaimed stone kneelers and verge copings and finial to gable.
- 1.7 Form openings for window Nos W10, W11 and W14 in north gable of rear offshot and build in reclaimed stone surrounds available on site as shown on drawing No P10.
- 1.8 Reinststate stone gutter above W4, reline gutter in lead including forming outfall to rainwater pipe as shown.
- 1.9 Remove brickwork and blockwork to built up window opening W8 and wall above and replace with dressed stonework as before described.
- 1.10 Make good outer leaf of built up door opening adjacent W2 in reclaimed dressed stonework to match existing including canted plinth course.
- 1.11 Pointing to be carried out on completion of walling in lime mortar flush to the face of the stone and finished by brushing off to produce a very slightly recessed and rounded joint.
- 1.12 Build in steel lintels over 2No ground floor window openings to provide support for point loads for new first floor beams described elsewhere.

2.0 Floors

- 2.1 Ground floor to have reclaimed stone flags finish, flush pointed onto floor screed (with underfloor heating) on insulation over existing structural concrete subfloor.
- 2.2 First floor to be constructed using 4No 310x310mm (nominal size) stop chamfered oak beams supporting 75x150mm oak joists as shown on drawing No P10. Floor finish comprising floating layer of engineered oak boards on dry screed boards on proprietary underfloor heating system of pipework laid into rebated insulation boards laid over moisture resistant decking onto oak joists.
- 2.3 38x75mm treated softwood battens fixed to sides of floor joists to provide fixing for plasterboards between floor joists to expose bottom half of oak floor joists and create void for services.
- 2.4 Install purpose made oak staircase giving access from ground to first floor level. Details of staircase to be confirmed.

3.0 Roofing

- 3.1 Existing steel support system to roof trusses and first floor ceiling joists already in position as shown on drawing No P10. Existing ceiling joists supporting laths and lime screed floor to attic above to be retained where in good condition, and defective members removed.
- 3.2 Install new floor to second floor attic in 50x125mm C24 joists spanning north-south supported by intermediate steel beams 2 to 5 as shown on drawing No P10.
- 3.3 Retain existing roof structure comprising oak trusses, purlins and ridge beam. An initial visual inspection indicates main structural timbers to be in good condition but a detailed inspection of purlins and ridge in particular should be carried out when safe access is available and any defective members should be replaced on a like for like basis. Replace defective wall plate in oak.
- 3.4 Retain existing rafters where possible and replace defective oak rafters (majority) with 75x100mm green oak rafters at 450mm c/c or to match existing.
- 3.5 Form openings in roof and provide 2No rooflights as shown on drawing No P10. Rooflights to be conservation style, top hung with metal frames, central glazing bar and proprietary flashing.
- 3.6 Replace roof covering in reclaimed stone slates in diminishing courses to match existing and with matching stone ridges bed in mortar. Slates to be hung on timber battens with alloy pegs. Breather felt to be used as underlay between battens and counter battens.
- 3.7 Include for forming flashings in lead at all roof abutments including chimney and gable parapets.

- 3.8 Gutters to be timber ogee lined with bitumen, painted black and supported on wrought iron brackets. Rainwater pipes to be circular cast iron with bossed connectors at approx 1.8m c/c fixed back to stonework with hardwood bobbins as spacers.
- 4.0 Windows and Doors
- 4.1 Window frames to new openings W10, W11, W12, W13 and W14 to be in metal with powder coat finish, single glazed fixed with linseed oil putty. Existing window frames W3, W4 and W9 to be retained and/or refurbished to match.
- 4.2 Provide and fix new oak door and frame to door opening D1 as described on drawing P10. Existing external door to porch D2, and main entrance door on south elevation D3, to be retained and refurbished.

A handwritten signature in black ink, appearing to read 'M Booth', followed by a horizontal line.

MBooth Design
Fairfield House Barnsley S70 2FL

Appendix A – Photographic Record

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See Drawing Ref S1 for key to photos



1. North elevation with West Wing on right hand side.



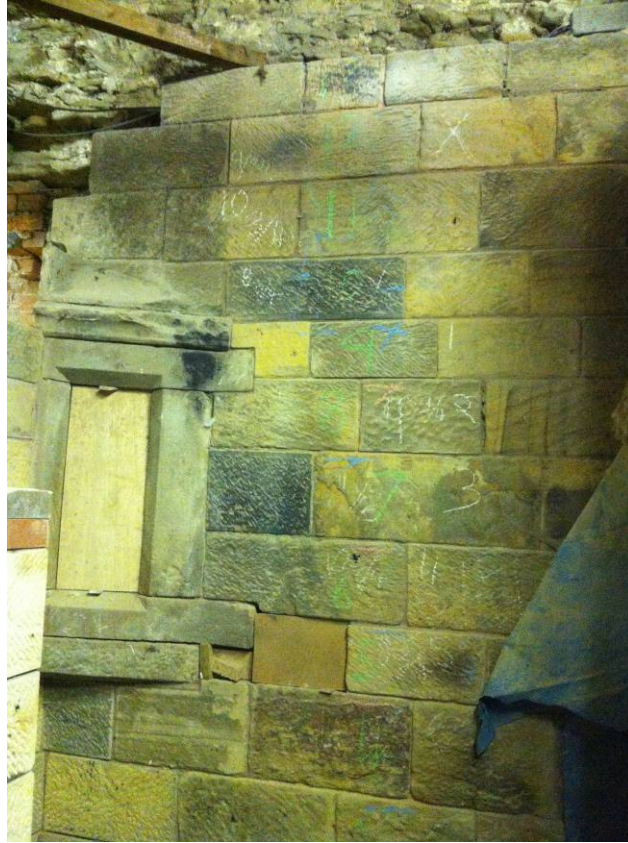
2. North east corner of rear offshot.



3. North elevation of rear offshot (through scaffolding).



4. Upper gable wall of rear offshot.



5. View of ground floor corner window.



6. External view of chimney stack under construction.



7. External view of new door opening D1 with corner of chimney stack in foreground.



8. West elevation of external wall adjacent D1.



9. Internal view of ground floor fireplace



10. Internal view of north wall and junction with rear offshot- ground floor level.

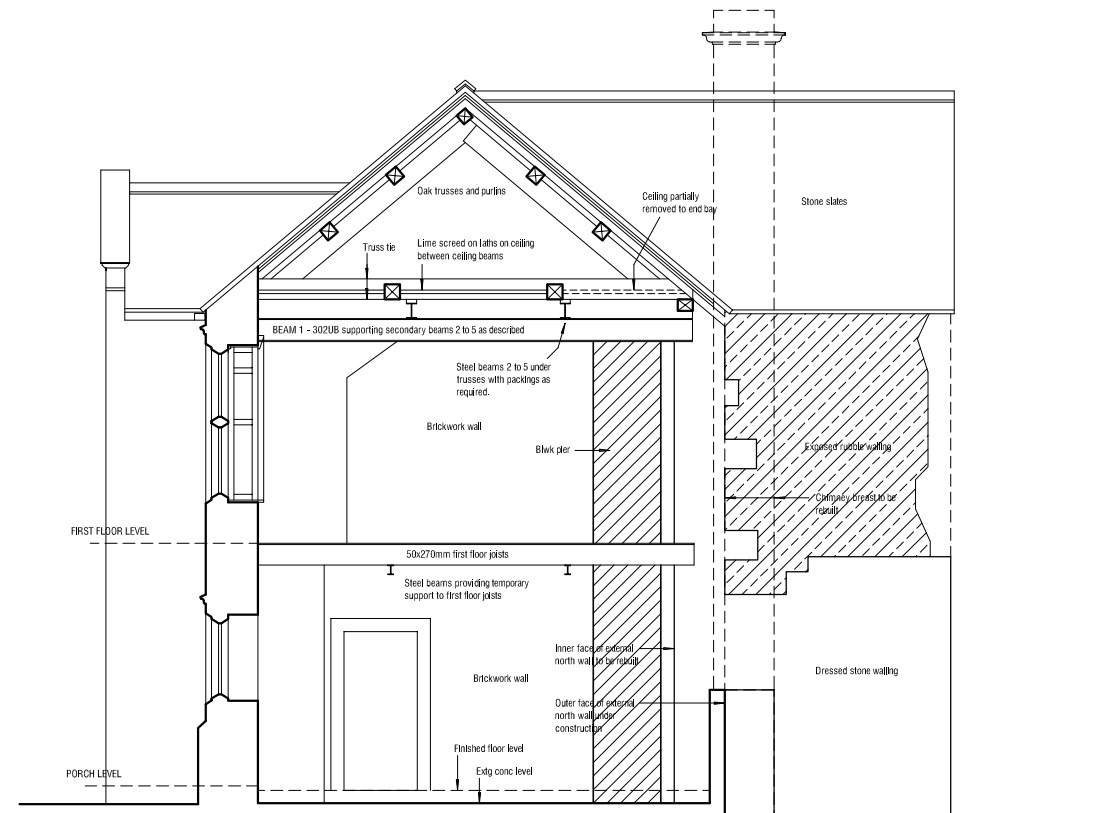
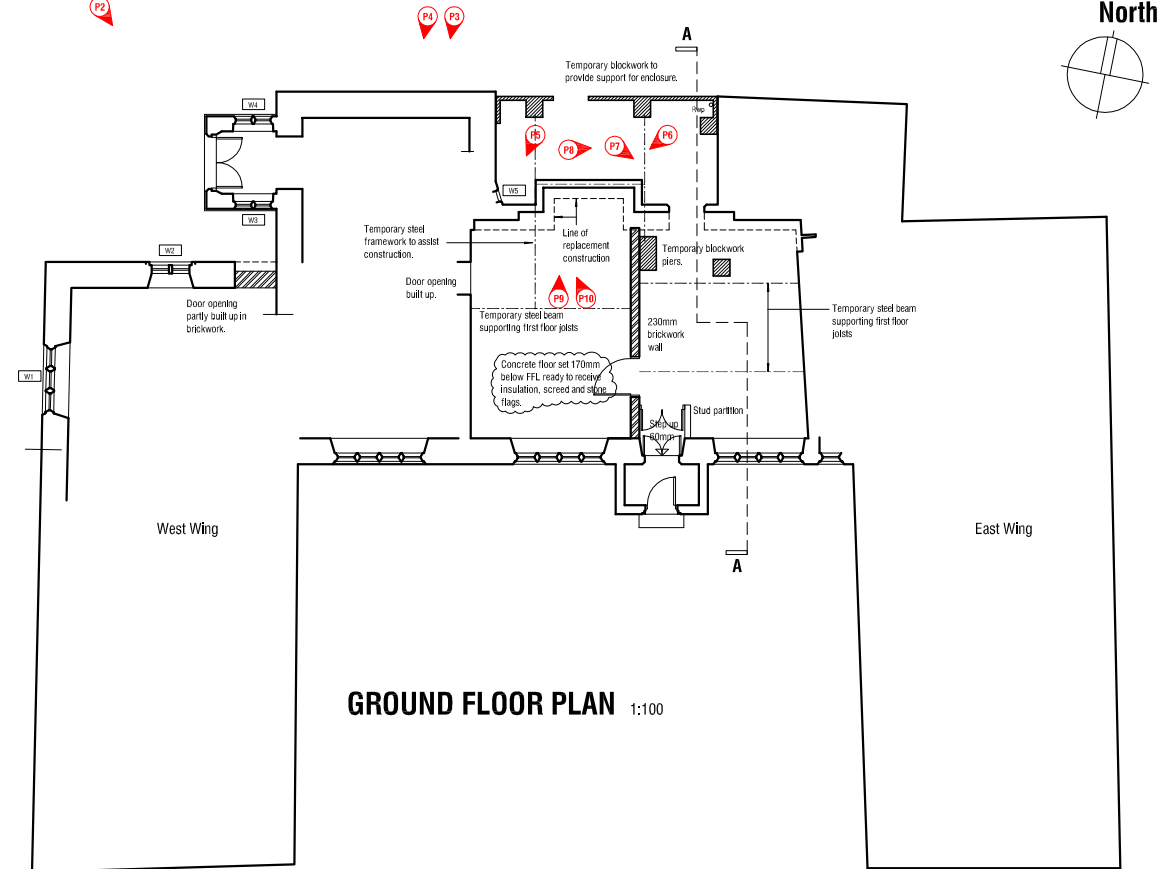
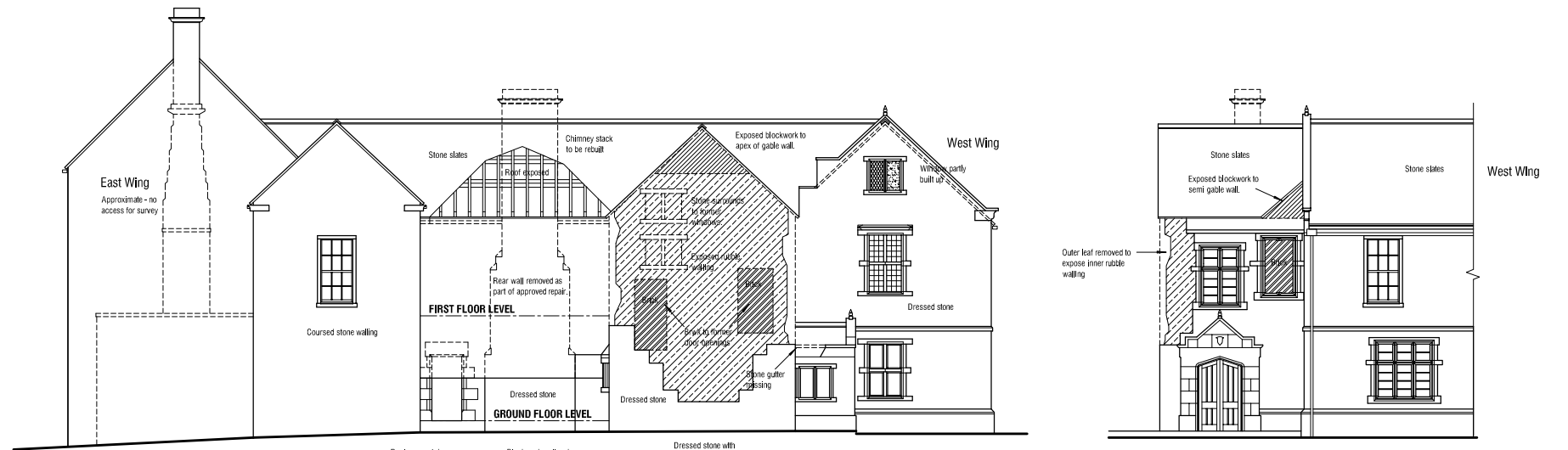
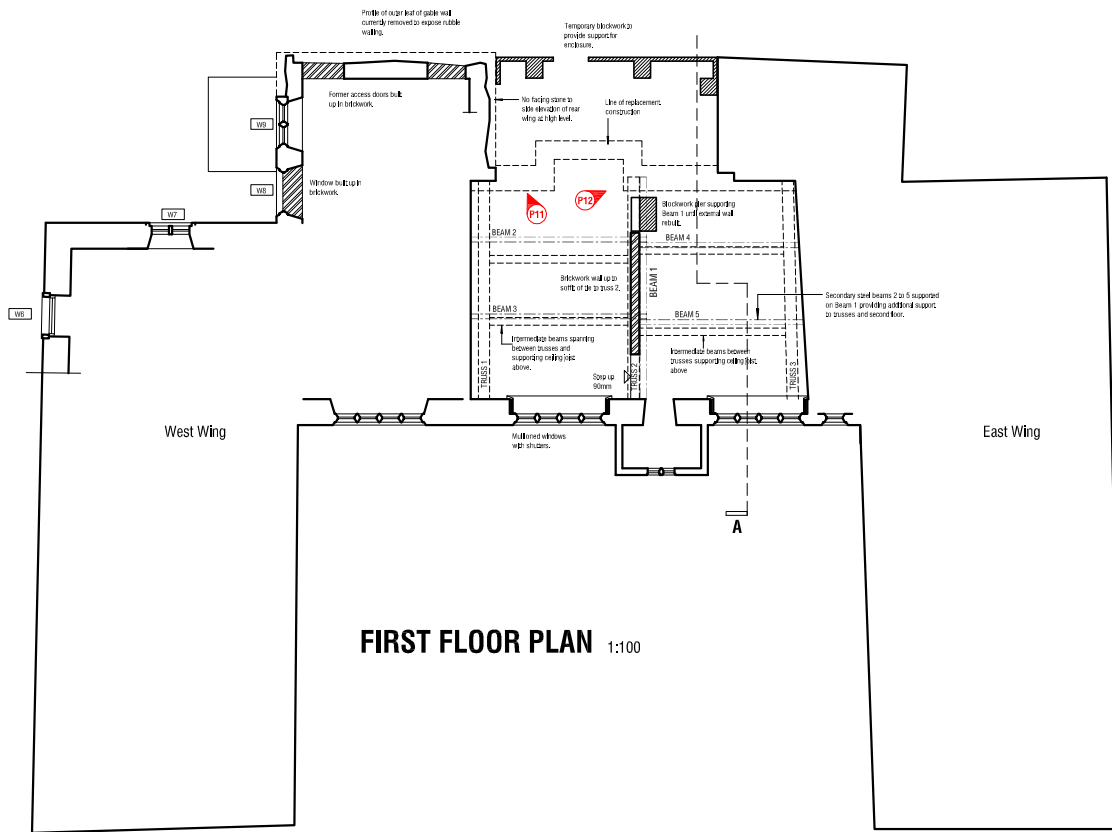


11. Internal view of north wall and junction with rear offshot- first floor level.



12. West elevation of external wall adjacent D1 – first floor level

Appendix B – Reduced Scale Plans



REDUCED SCALE PLAN

**PROPOSED REPAIR WORKS
6 AND 7 WORSBROUGH HALL
WORSBROUGH
BARNSELEY**

SURVEY

PLANS ELEVATIONS & SECTION

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architectural design and building consultants

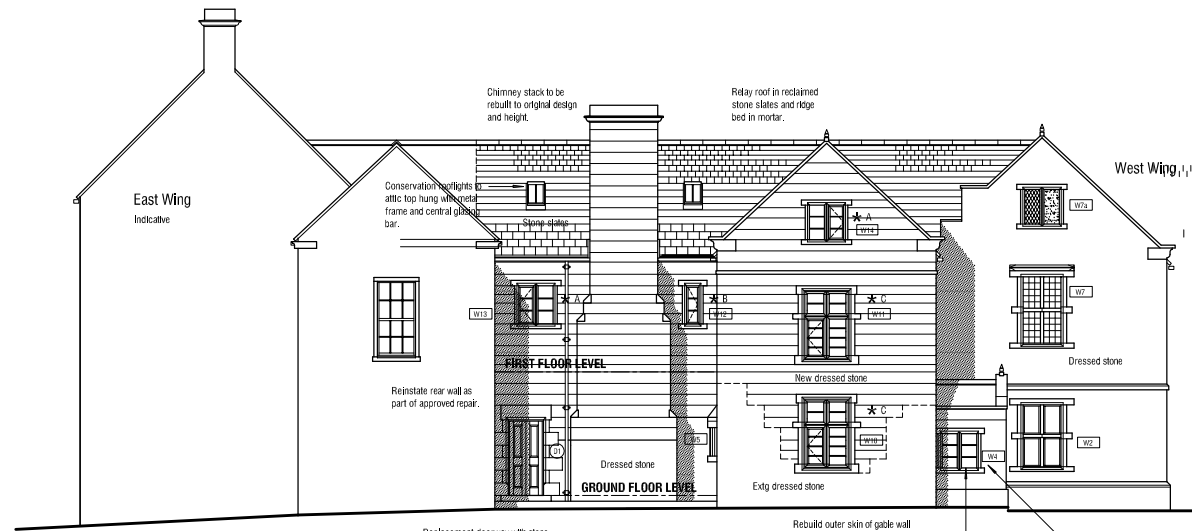
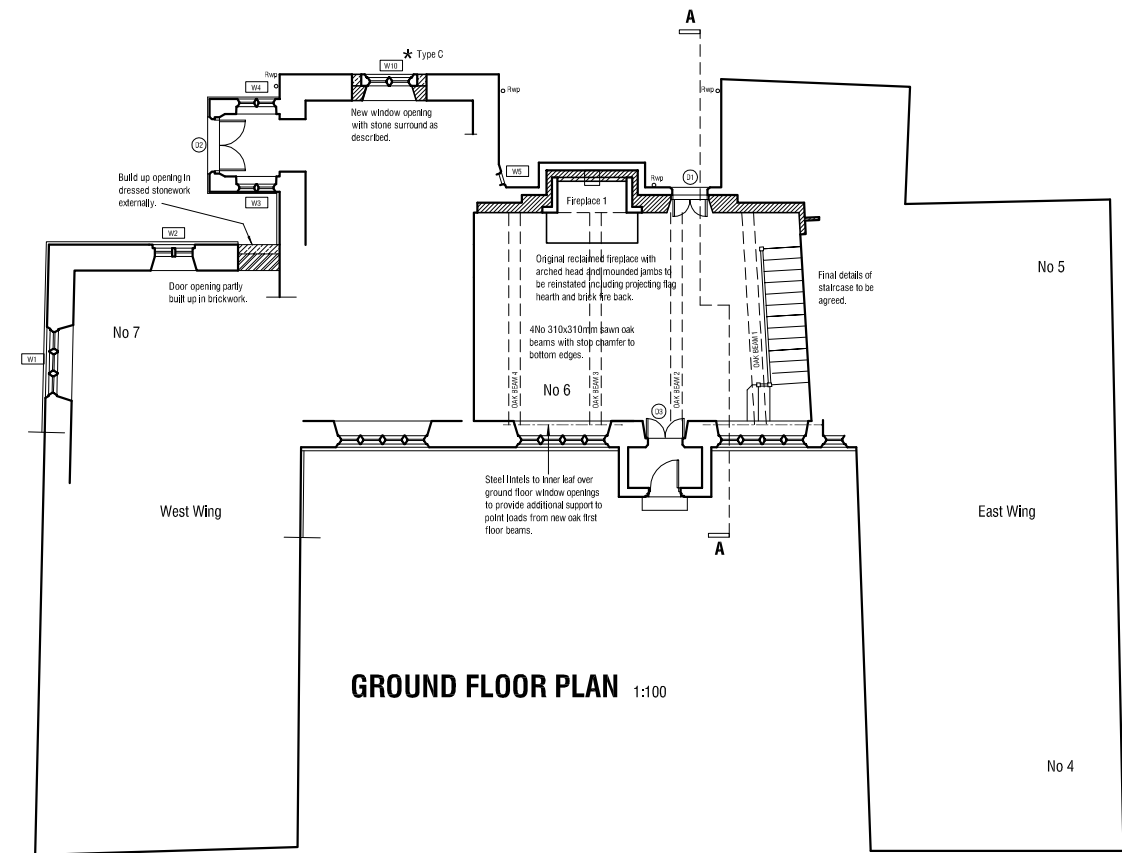
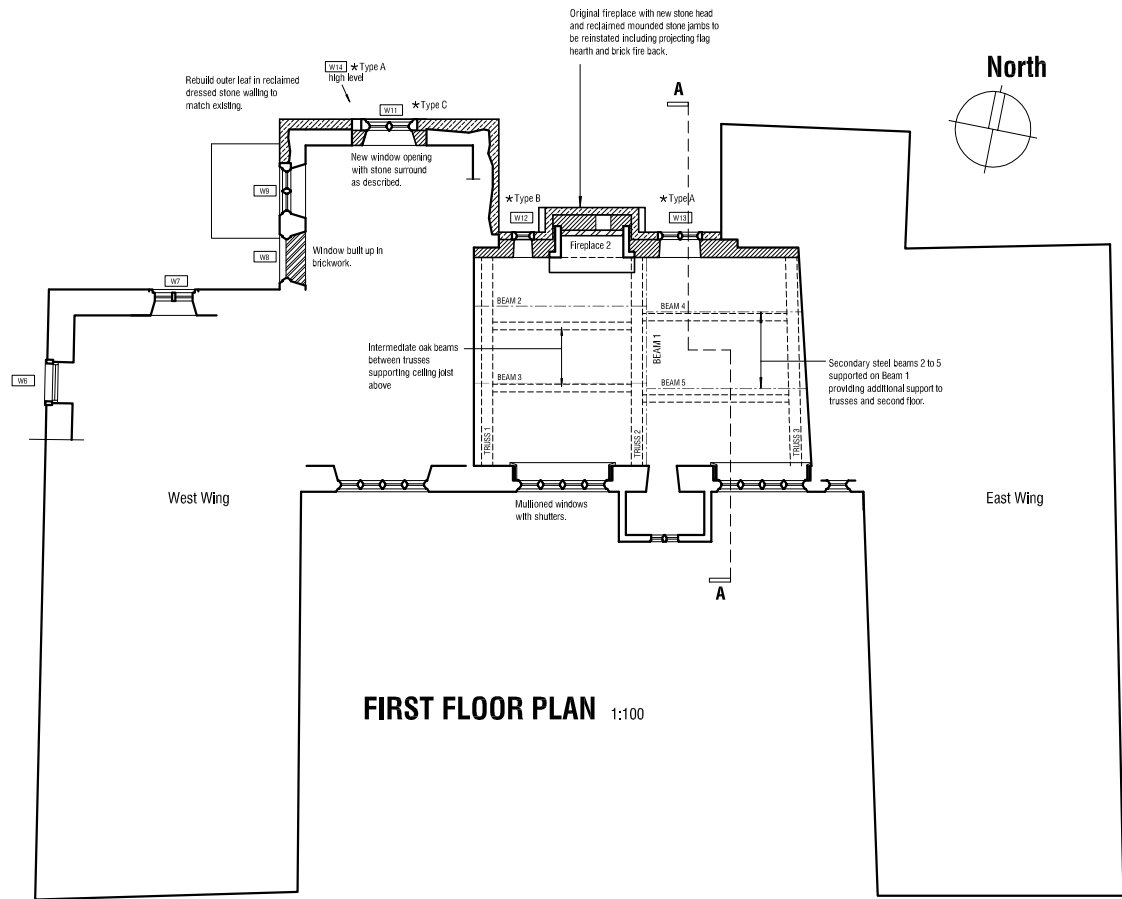
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Scale	1:50 1:200 @A1	Drawn	MJB
Date	SEPTEMBER 2012	Ref.	12,42
Dwg No.	S1	Rev.	
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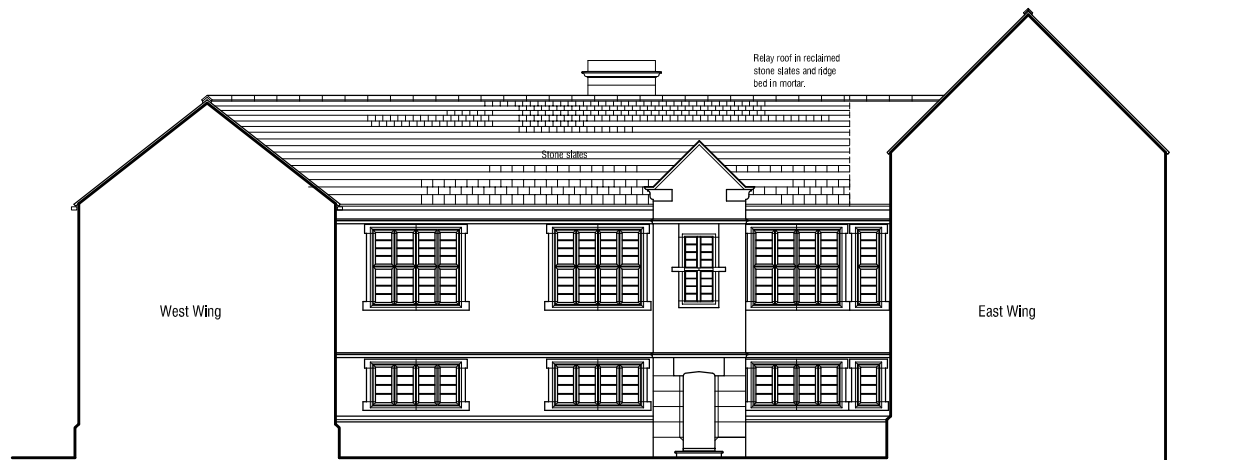
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Refers to direction of photographs within Photographic Record

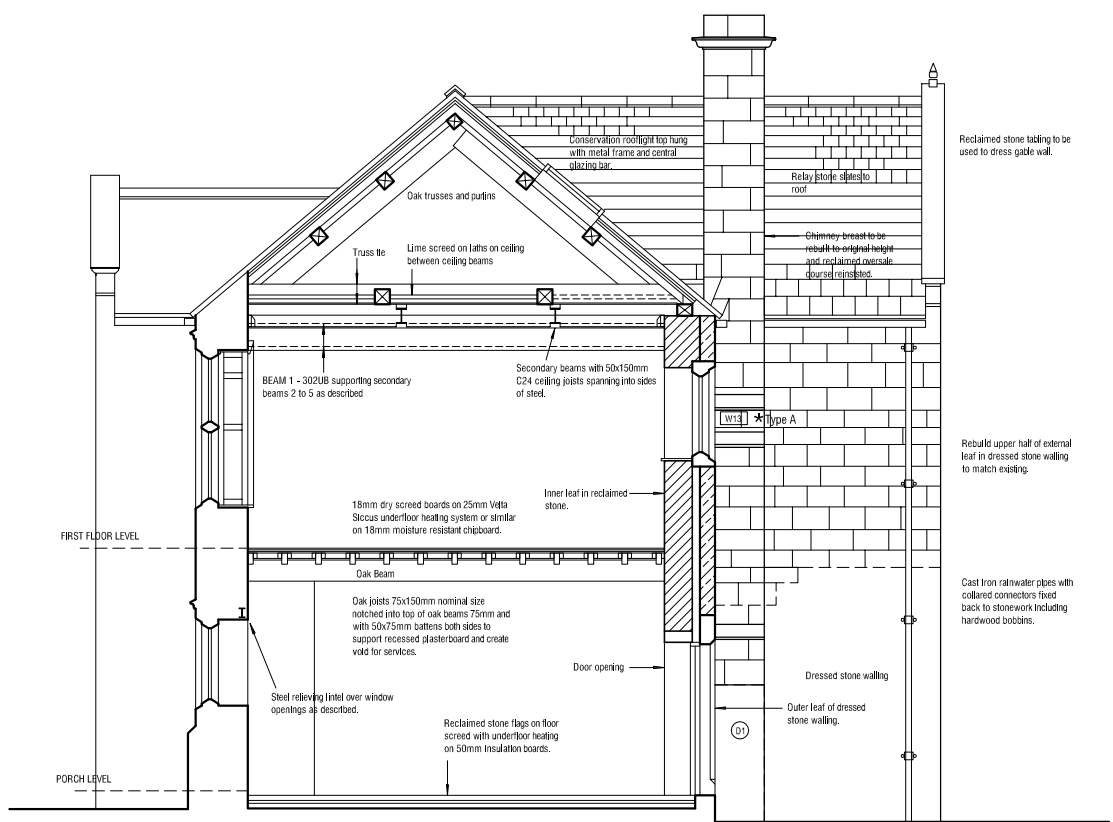




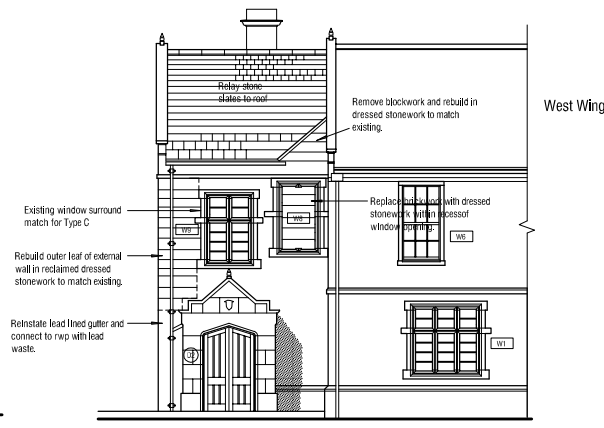
North Elevation 1:100



South Elevation 1:100

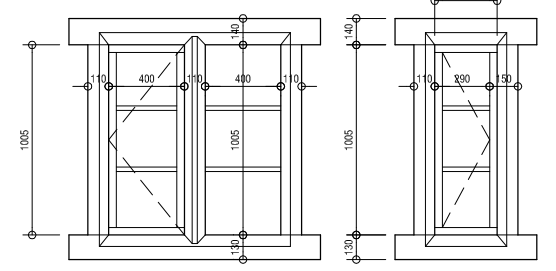


Section A AND PART EAST ELEVATION 1:50



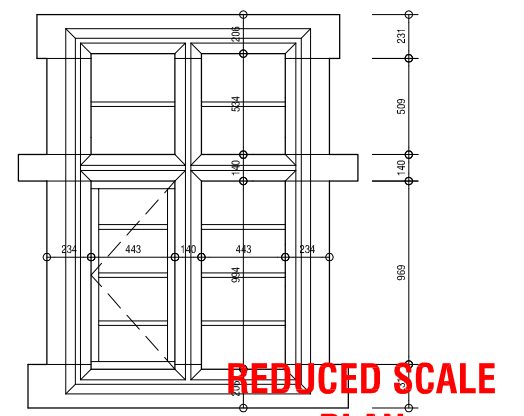
West Elevation 1:100

Windows surrounds in stone reclaimed from previously removed buildings connecting Worsbrough Hall with Domestic block to North. Dimensions may vary slightly. Single glazed metal glazing bars and window frames to casement openers where shown in white paint finish.



WINDOW TYPE A W13 and W14

WINDOW TYPE B W12



WINDOW TYPE C W10 and W11

REDUCED SCALE PLAN

**PROPOSED REPAIR WORKS
6 AND 7 WORSBROUGH HALL
WORSBROUGH
BARNSELY**

PROPOSALS

PLANS ELEVATIONS & SECTION

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Scale 1:100 1:50 1:20 @A1 Drawn MJB

Date SEPTEMBER 2012 Ref. 12,42

Dwg No. P10 Rev.

00m 20m 40m 60m

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