

Design and Access Statement

Starling House, Birks Lane, Millhouse Green, Barnsley, S36 9NB

Application:

Repair and replace a failed existing river bank wall along a section of the river bank adjacent to the access drive to the residential property.

Applicant: Mrs J Creek

Document no: DAS 1

Date: 31st August 2022

Introduction

The existing breeze block wall – that was installed in circa 2011 – was a repair to the then existing stone banking wall which had also failed.

The cause of the walls failing over a relatively short period of time is due to a lack of drainage to the rear of the wall.

The proposal is to excavate an area behind the proposed new walls location and install gabion baskets which will provide drainage to the back of the new wall and so allow surface water to drain through and pass into the water course as previously it did. The new wall will also have drainage points incorporated at its base to allow the water to pass into the water course as it does now.

The new stone wall will be located in the same area as the failed breeze block wall, and the finished ground level at the top of the new wall will be the same level as previously. There will be no alteration to the profile of the land as a result of these works.

Use

The proposed banking wall is to protect the land and trees adjacent to the water course and so maintain the properties access drive.

Layout

The layout of the new wall will be in the same location as the failed wall along the side of the water course.

Scale

The scale of the wall will be the same as the wall that has failed.

Landscaping

The grounds will be unchanged from the current landscaping of the property.

Appearance

There will be no significant change to the landscaping of the grounds around the house and in particular along the side of the access drive.

The finished ground levels will be the same, and the location and height of the new wall will be in line with the failed wall

Access

The house is accessed off Birks Lane along the access drive that is located adjacent to the proposed new river bank wall and indeed the failed river bank wall.

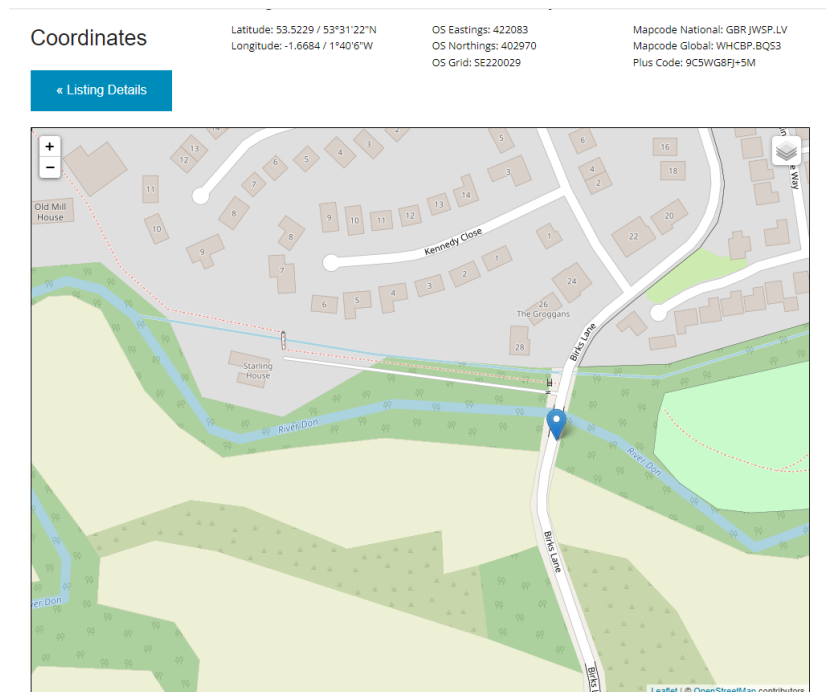
The access will remain unchanged from the current access to the house.

Heritage Statement – The site and building are not listed

The site is located close to Starling Bridge which passes over the River Done.

The bridge is a grade II Listed Bridge – which does not seem to have any weight restrictions attached to it at present.

The works are a suitable distance away from the Listed Bridge and as such are not interfering with the land around the bridge or its foundations.



Impact of the proposed development on the significance of the heritage asset

None