

FIRST FLOOR PLAN

ABOVE GROUND DRAINAGE:-
 All sanitary fittings to have PVC-U wastes to BS EN 1229 of the following sizes:
 WC - 100mm dia.
 WC wastes from appliance to SVP to be laid at min 1 in 60 fall (18mm fall per meter run).
 Baths, showers & sinks - 40mm dia.
 All wastes to have 75mm deep resealing traps.
 SVP's and wastes to WC's to be in black PVC-U so that no light is visible through the pipe walls thereby discouraging damage by rodents.
 All fittings to connect to SVP above or min 200mm below WC entry.
 Soil pipes to be 100mm dia and where running to external air to terminate min 900mm above any opening light within 3m of the discharge point and finished with a vermin proof cage which does not restrict the flow of air.
 Where SVP terminates inside building an air admittance valve to be fitted BBA certified.
 Rooding points to be provided to any lengths of drainage which cannot be reached from any other part of the system.
 A branch pipe discharging to a gully to terminate below grate level but above water level.

HEATING AND HOT WATER:-
 Dwelling to incorporate central heating system throughout with radiators in all rooms with TRV's and pressurized 150L hot water cylinder with min 100mm foam insulation operating from a high efficiency gas fired balanced flue boiler of 89.6% SEDBUK such as Ideal Logic+ or an equivalent to mfr's recommendations.
 Space heating control system to comply with regulation G3, British Standards and Codes of Practice and give both thermostatic and timed control via recommended programmable control unit and room stats in suitable positions to suit the recommended zoning of the overall system.
 Gas appliances to be compliant with The Gas Appliances (Safety) Regulations 1995 and The Gas Safety (Installations & Use) Regulations 1998.
 Balanced flues to be located in external walls as detailed in Diagram 3.4, Section 3, Approved document J of the current Building Regulations.
 No combustible material to be installed within 40mm of any flue.
 Full details to be subject to Mechanical Eng's calculations and recommendations to be confirmed prior to relevant work proceeding.

Internal Lighting:-
 Dwelling to have non-tradable low Energy Lightings throughout by providing fixed lighting that only takes lamps having a luminous efficacy greater than 40 lumens per circuit-watt.

External Lighting:-
 Provide effective control with automatic switch off and/or the use of energy efficient lamps with capacity not exceeding 150W per light fitting or using light fittings that take non-tradable lamps having an efficacy greater than 40 lumens per circuit watt.

Electrical work generally:-
 All electrical work to be undertaken by a competent person operating under an accredited competent persons scheme generally in accordance with BS 7671; The Wiring Regulations including all necessary testing and certification with a copy of all certificates being issued to Building Control for info record upon completion.
 The dwelling is also to be provided with suitable physical infrastructure for high speed electronic communication in accordance with Approved Document R, Building Regulations 2010, 2016 Edition

DISABLED REQUIREMENTS:-
 Sloped approach to be incorporated to main entrance from garage/drive and any necessary stepped approaches to have steps having a max rise of 150mm and any ganges between 250 and 400mm to suit particular circumstances.
 Heights of switches, door bell, etc to be not higher than 1200mm above finished floor level. Heights of socket outlets, TV points, etc to be not lower than 450mm above finished floor level.
 Internal doors generally to be 838mm wide to give min 775mm clear openings throughout with only secondary ensuite and dressing room doors being not less than 732mm wide except GF to ensuite to remain 838mm wide.

Conditional Approval requested for the following:-
 *Structural details from Structural Engineers and/or Structural Timber Specialists for glulam roof supports inc feature brass over sitting room.
 All details to be submitted to and approved by Building Control Authority Prior to commencing on site with the relevant section of work.

SOLID WASTE STORAGE:-
 Provide handstanding for storage of waste containers with paved access as shown on Site layout. Storage area sited so that it is discrete but also to ensure that carry distance to waste collection point specified by the Waste Collection Authority is kept to a minimum.

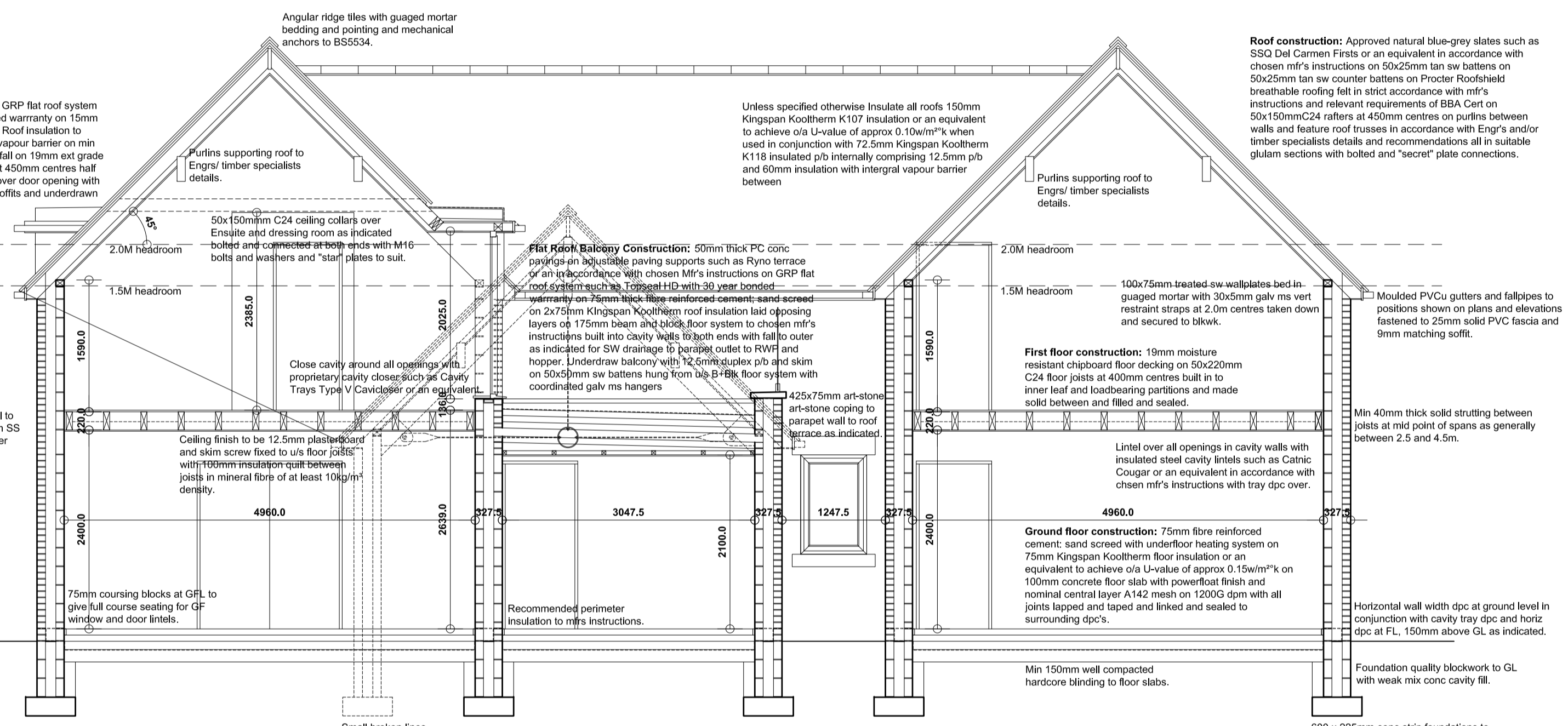
ENERGY PERFORMANCE ASSESSMENTS:-
 The thermal performance of the property is to be assessed under the current Standard Assessment Procedure pre-construction and post construction its thermal performance is to be re-assessed to enable the production of the Energy Performance Certificate to confirm the Energy Rating of the property. Refer to specialists assessments and LABC Registered Construction Details for further information.

The completed building is also to be the subject of air permeability testing in accordance with Approved Document L1A as agreed with Local BCO by Specialist using the testing procedure laid out in ATTMA's (Air Tightness Testing and Measurement Association) Code of Practice - Measuring Air Permeability of Building Envelopes 2006 to verify air permeability of 5m³/m²/hr used in SAP assessments.

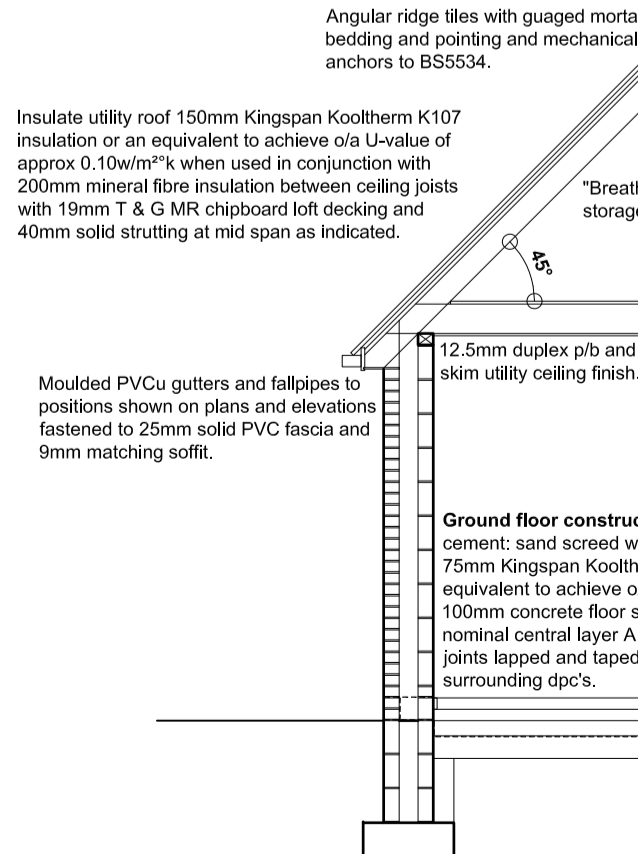
HOT WATER & WATER EFFICIENCY:-
 Wholesome water supply to be provided by local water supply undertaker.
 All baths to be fitted with a suitable thermostatic device to limit hot water temperature to not more than 48 degrees C.
 All hot water taps to be fitted on left hand side of relevant sanitary appliances.
 Hot water system to be designed supplied and installed by specialist generally in accordance with BS 6700 and is to be provided with the relevant notices/warnings described in para's 3.23 & 3.24 AD G3, B Regs 2000, 2010 edition.
 Water efficiency to be assessed to ensure max wholesome water use of 125 litres per person per day in accordance with Governments national calculation methodology.

Roof Construction:- Dark grey GRP flat roof system such as Topseal HD with 30 year bonded warranty on 15mm ext grade ply deck on 120mm Kingspan Roof insulation to achieve max 0.15w/m²k oia u-value on vapour barrier on min 25mm tan sw firings giving min 1 in 80 fall on 19mm ext grade ply sub deck on 50x100mm C24 joists at 450mm centres half housed over 100x100mm eaves beam over door opening with 25mm PVC fascia and matching 9mm soffits and underdraw with 12.5mm duplex pb and skim.

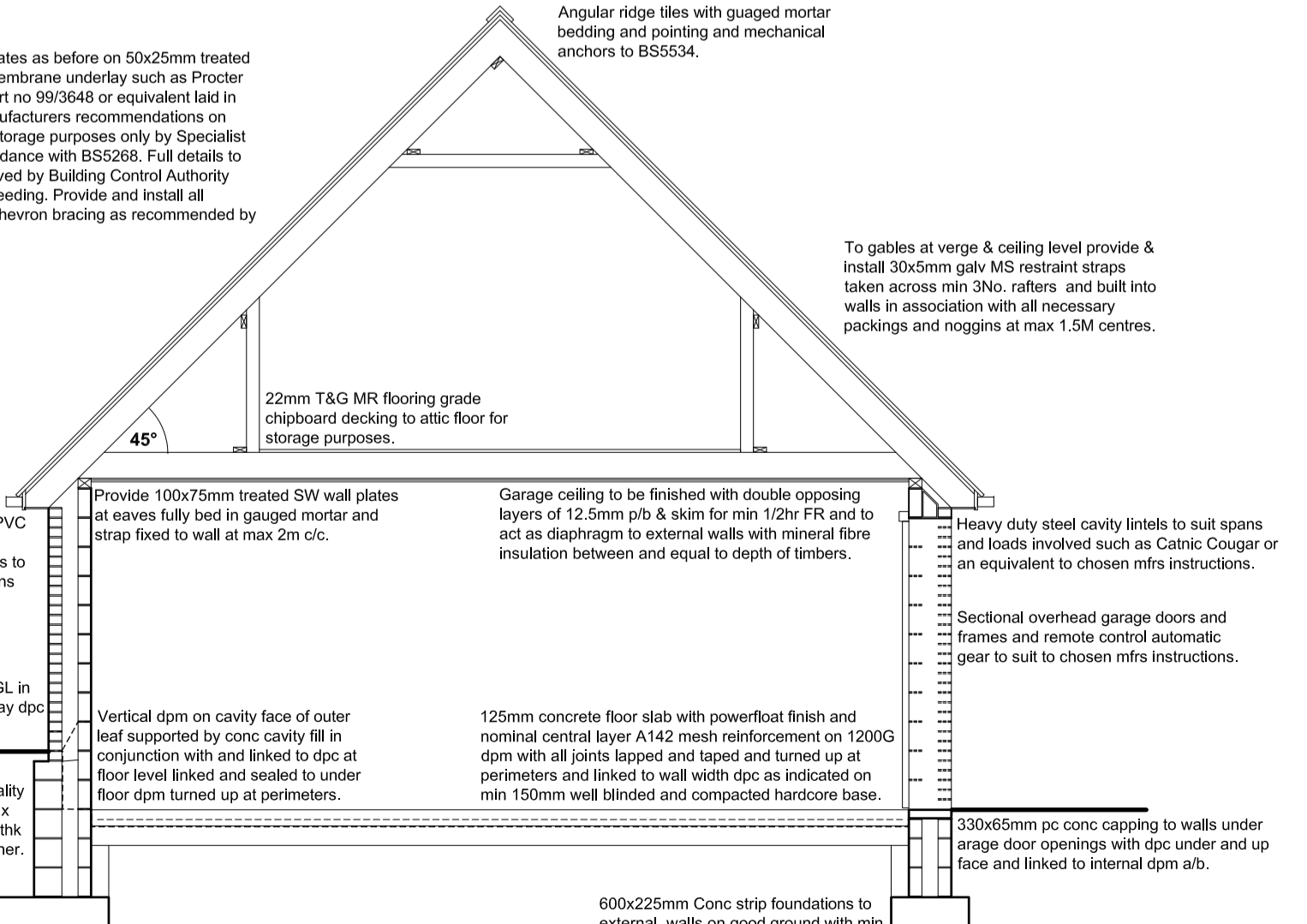
At verge and 1st FL where joists parallel to gable walls provide and install 30 x 5mm SS restraint straps at 1.5M centres taken over min 3No rafters/joist's and down and secured to b/wk as necessary.



SECTION AA



SECTION CC



SECTION DD

Roof Construction:- Approved Nat blue-grey slates as before on 50x25mm treated SW battens on breather membrane underlay such as Procter Roofshield to Agreement cert no 993648 or equivalent laid in strict accordance with manufacturers recommendations on "A/B/C" Trussed rafters for storage purposes only by Specialist at 600mm centres in accordance with BS5586. Full details to be submitted to and approved by Building Control Authority prior to relevant work proceeding. Provide and install all longitudinal diagonal and chevron bracing as recommended by Mfr's.

Roof construction: Approved natural blue-grey slates such as SSG Del Carmen Firns or an equivalent in accordance with chosen mfr's instructions on 50x25mm tan sw battens on 50x25mm tan sw counter battens on Procter Roofshield breathable roofing felt in strict accordance with mfr's instructions and relevant requirements of BBA Cert on 50x150mmC24 rafters at 450mm centres in conjunction with 50x200mm ceiling joists at 450mm centres fixed to wallplates and bolted and connected to rafter feet with M16 bolts with washers and suitable "natter" plates.

Close cavity around all openings with proprietary cavity closer such as Cavity Trays Type V Cavidriller or an equivalent.

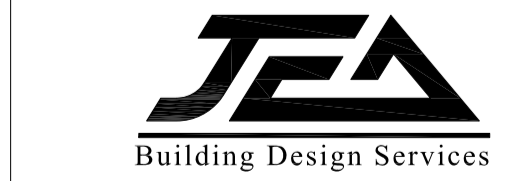
600 x 225mm conc strip foundations to cavity walls as indicated onto good ground with min 600 cover to satisfaction of Local BCO.

To gables at verge & ceiling level provide & install 30x5mm galv MS restraint straps taken across min 3No. rafters and built into walls in association with all necessary packings and noggin's at max 1.5M centres.

Garage ceiling to be finished with double opposing layers of 12.5mm pb & skim for min 1/2hr FR and to act as diaphragm to external walls with mineral fibre insulation between and equal to depth of timbers.

125mm concrete floor slab with powerfloat finish and nominal central layer A142 mesh reinforcement on 1200G dpm with all joints lapped and taped and turned up at perimeters and linked to wall width dpc as indicated on min 150mm well blinded and compacted hardcore base.

600x225mm Conc strip foundations to external walls on good ground with min 600 cover to satisfaction of Local BCO.



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DETAILED PROPOSALS 2

FIRST FLOOR PLAN & SECTIONS 1

Mr and Mrs Farnsworth

2 ROB ROY LANE,
 KERESFORTH HILL,
 BARNSELY, S70 6NR.

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Scale: 1:50 @ A1	Date: JUNE 2021
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