

2025/0045

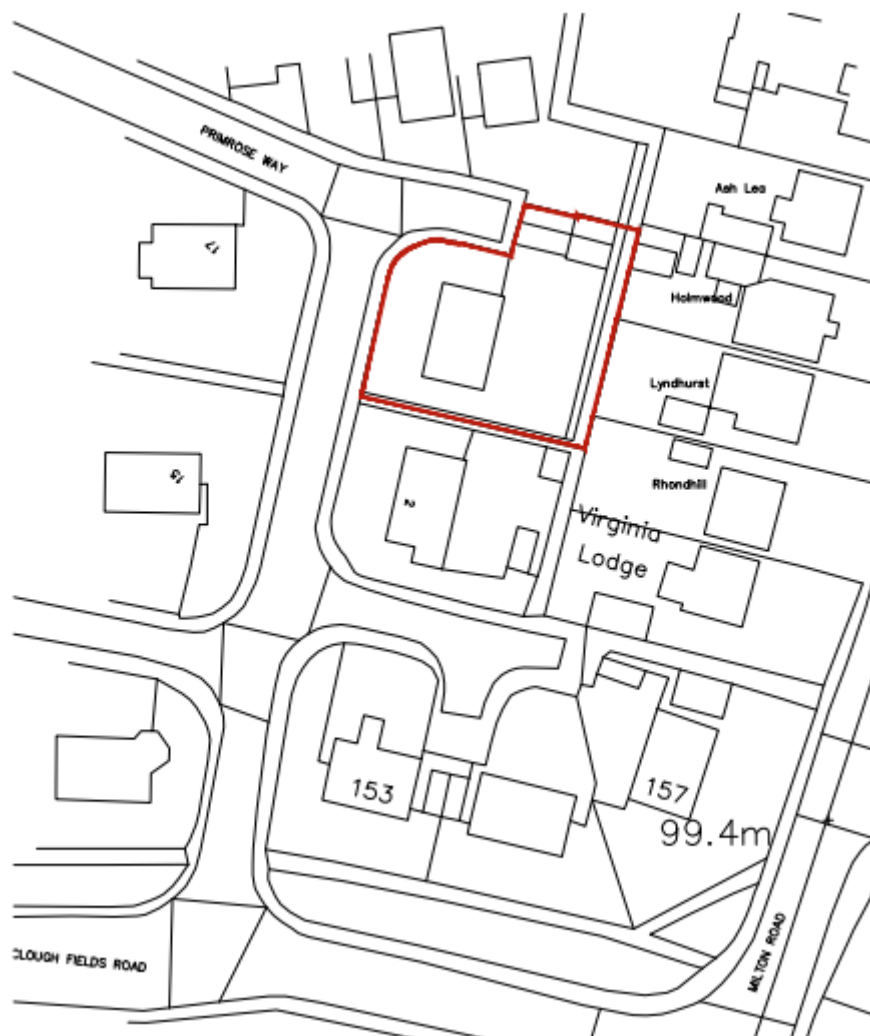
Ms John Robinson

4 Primrose Way, Hoyland, Barnsley, S74 0HN

Single storey side and rear extension to dwelling

Site Description

The application relates to a detached bungalow on Primrose Way within the Hoyland area. The dwelling is constructed from stone and features a pitched, tiled roof. The property features a modest garden to both the front and rear. The surrounding area is characterised by similar detached bungalows along with detached and semi-detached dwellings constructed from red brick.

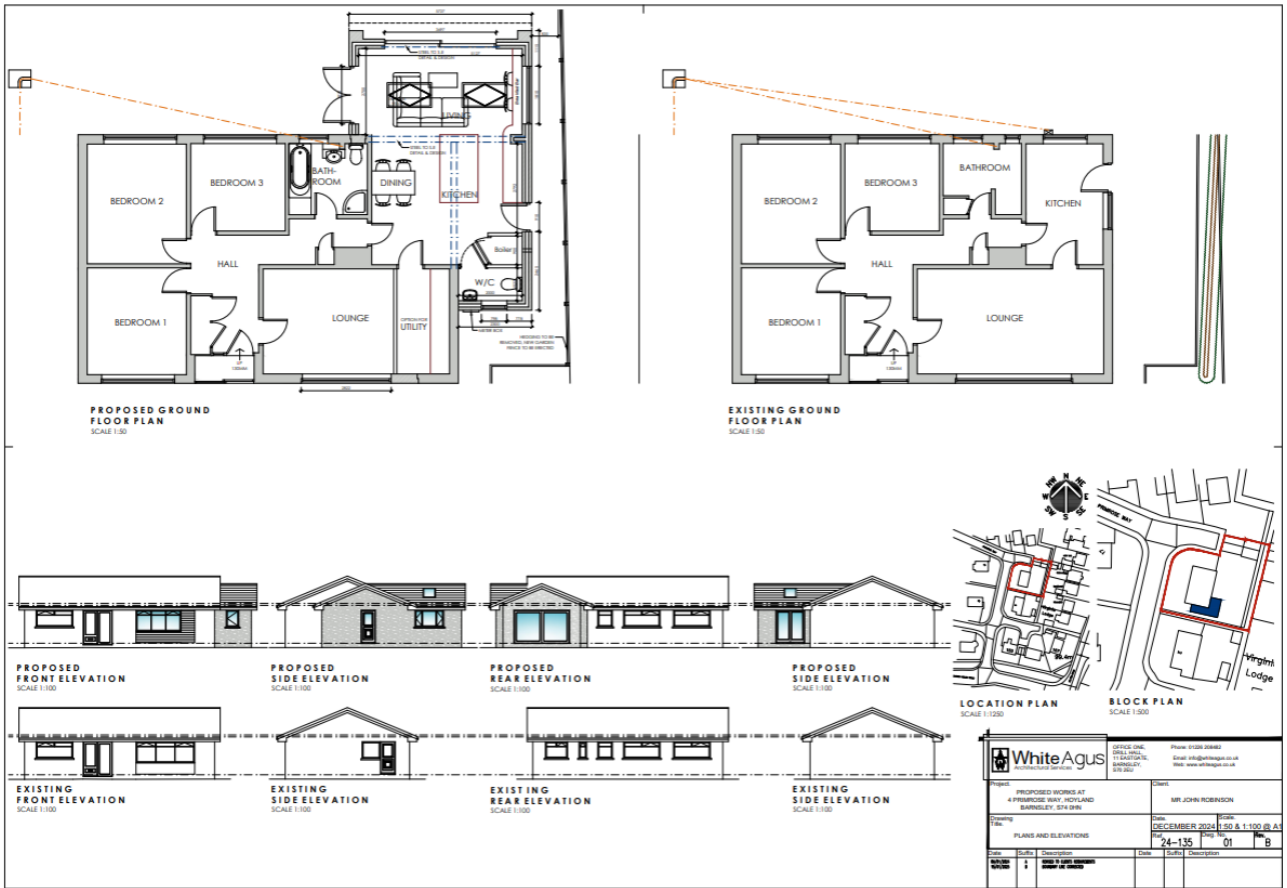


Relevant Planning History

No planning history

Proposed development

The applicant is seeking permission for a rear and side wrap around extension. The extension would have a rearward projection of approximately 3.2 metres and an approximate sideways projection of 2.3 metres. The rear elevation would provide an approximate width of 5.7 metres and the side elevation would provide an approximate length of 8.7 metres. A pitched roof is detailed to the side extension with a gable roof form for the rear extension. An approximate eaves height of 2.5 metres is detailed with an approximate ridge height for both elevations of 3.9 metres. The side elevation would provide a door servicing the kitchen along with a window and roof light lantern servicing a living room. Sliding door are detailed to the rear elevation spanning approximately 3.5 metres. The north side elevation details patio doors and a roof lantern also servicing the living room. Matching materials are detailed throughout.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High Quality Design and Place Making.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed places.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. One representation was made in support of the proposal.

Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety

Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed side extension would be erected to the north of 2 Primrose Way. Given the proposal is located to the north of this neighbour, loss of sunlight will not be an issue. The ridge of the side extension is set down from the existing ridge line of the dwelling by approximately 0.47 metres. The side extension is also set in from the boundary by approximately 0.8 metres. This assists in reducing the overbearing impact of the side elevation. A door and window is detailed to the south elevation facing the adjacent property, however substantial boundary treatment assists in screening the development and prevents any detrimental overlooking. Although the site is on a higher level than properties to the rear, the proposed rear elevation provides an approximate distance of 24 metres to the nearest rear elevation of rear neighbours. This is greater than the minimum 21 meters outlined within the House Extensions and Other Domestic Alterations SPD. Existing rear boundary treatment also assists in reducing overlooking to the rear.

As such, this weights significantly in favour of the proposal.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The House Extensions and Other Domestic Alterations SPD states that a side extension should reflect the design of the existing dwelling in terms of roof style, pitch, materials and detailing and should not have an excessive sideways projection (i.e. more than two thirds the width of the original dwelling).

The proposal provides a pitched roof from to the side elevation which allows the proposal to remain in keeping with the character of the dwelling. The proposal is both set down from the ridge and back from the principal elevation. This reduces the dominance of the extension on the street scene and allows the proposal to appear subordinate to the existing dwelling. The rear elevation also provides a gable roof form which is sympathetic to the rear elevation and provides a set down from the ridge

reducing the dominance of the proposal. The rear glazing is detailed centrally and sits well within the rear elevation. The patio doors to the north elevation and the window to the south elevation replicate each other width and provides a symmetrical feel to the rear extension. Matching materials allow the proposal to remain in keeping with the dwelling and the character of the street scene

This therefore weighs considerably in favour of the proposal.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The proposal would not result in the increase of bedroom facility or the loss of any onsite parking facility. As a result, no highway safety is affected. This weighs substantially in favour of the proposed development.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Planning Balance and Conclusion

In considering the above assessment, the proposed development is acceptable regarding residential and visual amenity and highway safety. Although some concerns are present with regards to overlooking to the rear, a sufficient distance is maintained, and some boundary treatment assist in reducing any impact. On balance, this application is therefore recommended for approval.

Recommendation

Approve with Conditions