
2023/1034

Applicant: Mr L Poots

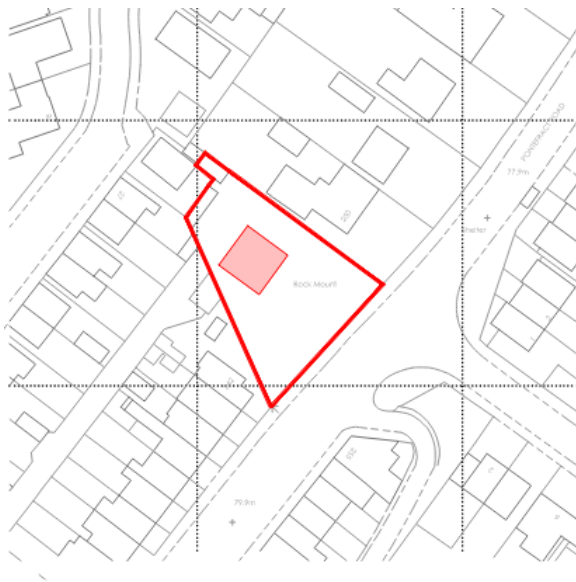
Address: Rockmount, Pontefract Road, Cudworth, Barnsley S72 8AG

Description: Demolition of attached garage to rear of dwelling to be replaced by 2 storey extension, replacement of existing wooden dwelling windows with double glazed uPVC and extension of brick wall to the front of the rear outbuildings to connect existing detached garage.

Site & Location Description:

The application dwelling is an early twentieth century, (weathered) yellow stone, double fronted detached house with a gable roof, set within a substantial sized curtilage. Located towards the northern end of Cudworth on Pontefract Road, the Street scene varies with terraces to the south, large, detached dwellings to the north and contemporary style dwellings on the opposite side of the road and to the rear of the dwelling.

The dwelling itself is unusual as although it is double fronted, at the rear of the dwelling, it appears as if a quarter of the dwelling is missing, with a flat roofed attached garage located within the apparent missing section of the dwelling. Within the curtilage of the dwelling, located on the rear boundary wall is an outbuilding and attached shelter. A detached garage is also erected within the dwelling's curtilage, although it borders No. 29 Queens Road on one side and rear elevation and No. 250 Pontefract Road on the other side elevation.



Planning History:

There is no planning history recorded which directly relates to the application dwelling. There is however an uncertain history in relation to the rear curtilage of the dwelling and the construction of 29 Queens Road, a Circa 2012 dwelling possibly constructed partially contrasted on land once forming part of the applicant dwelling's curtilage. The following Planning history relate to the construction of the 2.5 story dwelling at 29 Queens Road, directly to the rear of the application dwelling.

2007/0195 - Erection of detached dwelling (Land adjacent 27 Queens Road, Cudworth, Barnsley, South Yorkshire, S72 8AS) – Application Withdrawn

2008/1004 - Erection of detached dwelling (Resubmission) (Land adjacent 27 Queens Road, Cudworth, Barnsley, South Yorkshire, S72 8AS) - Approved with Conditions 11th August 2008

2012/0154 - Erection of detached dwelling (Land adjacent 27 Queens Road, Cudworth, Barnsley, South Yorkshire, S72 8AS) - Approved with Conditions 2nd April 2012

Proposed:

The proposal is for what in essence would be an infill of the missing segment of the dwelling, in replacement of the existing ground floor attached garage. Additional works on the dwelling is the proposed replacement of single glazed wooden sash windows with double glazed UPVC sash windows. Works in the curtilage propose to create a new brick wall to create a new, single brick elevation for the existing shelter, outbuilding and detached garage.

Measurements:

All existing roof and eaves heights of the original dwelling have been measured on the existing plans and remain at the same height on the proposed plans; The roof of the rear elevation is however proposed to be extended to incorporate the new two-story extension.

Rear Extension (existing attached garage):

- **Rear Projection: 4.7m** (4.7m) – Does not extend beyond the overall extent of the rear elevation.
- **Width: 3.78m** (3.6m)
- **Eaves Height: 5.93m** (2.07m)
- **Roof Height: 9.24m** (2.39m)

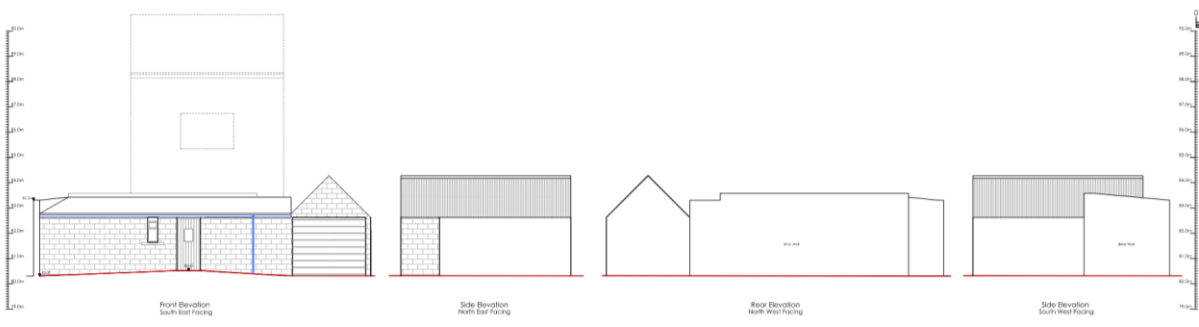
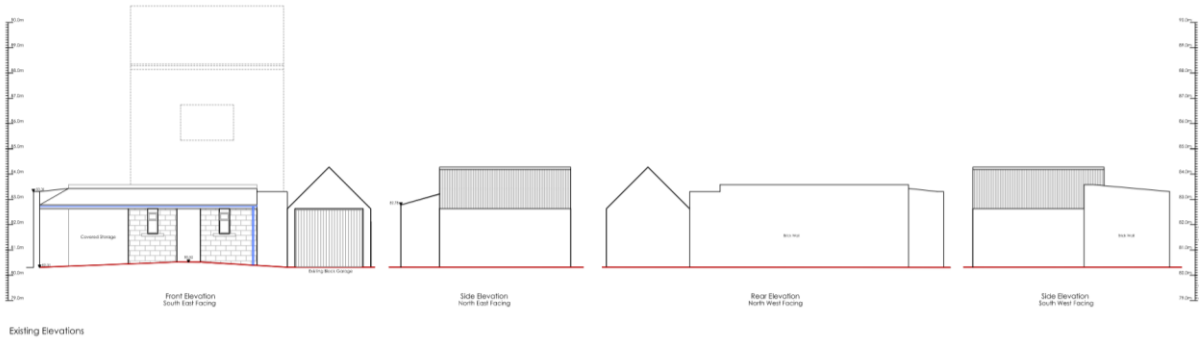
Outbuilding inc. Shelter & Detached Garage (Existing)

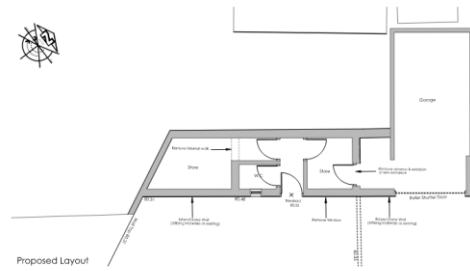
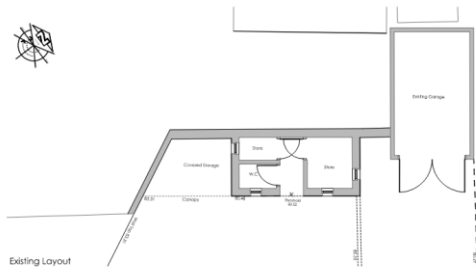
Outbuilding & Shelter	Detached Garage
▪ Length: 2.66m	▪ Length: 5.2m
▪ Width: 8.6m	▪ Width: 3m
▪ Eaves Height: 2.47m	▪ Eaves Height: 2.31m
▪ Roof Height: 3.08m	▪ Roof Height: 3.96m

Proposed Combined

- **Length:** 2.66m (Outbuilding) / 6.64m (Garage)
- **Front Elevation Width:** 13.11m
- **Maximum Eaves Height:** 2.47m (Outbuilding) / 2.31m (Garage)
- **Maximum Roof Height:** 3.11m (Outbuilding) / 3.96m (Garage)

Existing and Proposed Floor Plans and Elevations





Local Plan Designation: Urban Fabric

Conservation Area: No

Neighbour Representations:

Letters were sent to nearby addresses; No comments were received.

Consultees: None

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

NPPF

The National Planning Policy Framework sets out the Government’s planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well-designed and beautiful places -

The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.

Within section 12, paragraph 139 is the most relevant which indicates:

Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or
- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Local Plan

In reference to this application, the following Local Plan policies are relevant:

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

SD1: Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

T4 – New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties and most outbuildings are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

Due to the large curtilage the dwelling is situated within, the proposed rear extension would have a negligible impact to neighbouring dwellings on Pontefract Road, but consideration must be given to dwellings on Queens Road, to the rear of the dwelling's curtilage, particularly the dwellings of No. 27 and No. 29 Queens Road which would directly overlook the proposal. It is generally considered that there should be a minimum of a 21m distance for habitable windows which directly face each other in different dwellings. Having checked the proposal, one first floor window is proposed within the two-storey extension, but this window does not directly overlook the dwelling and consequently any habitable window of No 29 Queens Road. In relation to No. 27 Queens Road, if the dwellings were at the same level, the window of the proposed extension would directly overlook a bathroom window, which is not considered a habitable room window, and may partially overlook a second story dormer window, which would have been an extension to the dwelling. However, as the application dwelling is considerably lower than no 27 Queens Road, the proposed window would overlook the blank elevation of No. 27's ground floor extension. Limited potential of overlooking the gardens of No. 27 or No. 29 would be mitigated by distance and the strong boundary treatments installed between the dwellings. As such whilst any overlooking cannot be excluded, the level of potential overlooking, especially when taking into consideration for existing overlooking by the application dwelling would be minimal and should not cause a detrimental effect on the residential amenity of current or future residents of No. 27 and No. 29 Queens Road.

In relation to the any residential impact caused by the proposed amendments to the outbuildings, this would be negligible. Due to the proximity of the outbuildings to the boundary, they would exceed the maximum allowable height of 2.5m for Permitted Development. However, the proposal does not increase the height of the existing garage, which would remain at 3.96m and only increases the height of the outbuildings by an insignificant amount of 3cm. When this is combined with the fact that the existing boundary wall treatment, which forms part of the outbuilding structure would remain and arguably be unaltered or unseen by neighbouring dwellings, any impact on residential amenity for any neighbouring dwellings would be negligible.

Visual Amenity

When viewed from the front elevation, the dwelling (when not obstructed by shrubbery) appears as a double fronted two-story dwelling, which it predominantly is. Public view of the rear elevation is largely restricted but as mentioned in the description, it appears as if a piece of the dwelling is missing and replaced with an unsympathetic ground floor garage. It is unusual that a house extension has the potential to improve the character of a dwelling. But in this instance, and although with limited improvement to the street scene due to being unseen, the proposed 'infill' extension would have the possibility of enhancing the character of the dwelling itself. With proposals to use

matching stone and roof materials, it can be forgiven that the recommended set back and set downs, found within the House Extension and Other Domestic Alterations SPD have not been included, as the proposed completed dwelling would on this occasion look complete and offer improved visual amenity without them.

In keeping with the lack of visual harm and potential improvement provided by the extension, albeit with limited value to the street scene, the proposals for the garage and outbuildings would enhance the character of the structures but would afford limited public viewing of them. One potential pitfall of the house's extension proposal, but one which is hopefully completed with good design merit, is the replacement of the wooden single glazed windows with UPVC Double glazed windows. As the windows are proposed to be replaced with similar style sash windows, and the dwelling is not a listed structure, there is limited scope for prevention of the loss of the original wooden windows.

Highway Safety

As there are no changes to the proposed access or parking arrangements of the site, despite modifications to the garage, there is ample off-street parking, there is no concern over highway safety.

Summary

Following the above review of the proposals, no neighbour comments being received and with no impact on Highway safety, and overall negligible impacts on residential amenity and visual amenity of the area; the proposal broadly complies with all local and national planning policies, including the SPD House extensions and Other Domestic Alterations and a recommendation for approval is appropriate.

Recommendation: Approve with conditions