

<b>Application Reference Number:</b>	2026/0106
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<b>Application Type:</b>	S19 - Variation of Condition(s)
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<b>Proposal Description:</b>	Variation of condition 2 of LBC application 2025/0995 to allow repair of timbers in roof spaces where they have been found to be affected by beetle and rot during other approved works
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<b>Location:</b>	Northern College, Lowe Lane, Stainborough, Barnsley, S75 3ET
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<b>Applicant:</b>	Mr M Barrett
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<b>Third-party representations:</b>	One	<b>Parish:</b>	Stainborough
		<b>Ward:</b>	Penistone East Ward

**Summary:**

This planning application seeks a variation of conditions 2 (approved plans) of planning application 2025/0995 (Urgent Stabilisation works to the ceilings of the Long Gallery and Italian Stair (Listed Building Consent)).

The proposal relates to Grade 1 Listed Building Wentworth Castle. The site falls within the Green Belt, Wentworth Castle and Stainborough Park Conservation Area and a Historic Park and Garden.

Any harm generated by the proposal should ensure to be outweighed by other material planning considerations and should not cause an unacceptable level of harm to heritage assets.

The proposed variation of condition 2 would have no adverse impact or increased harm to the heritage asset and is therefore considered acceptable.

**Recommendation:**

Approve subject to conditions

## Site Description

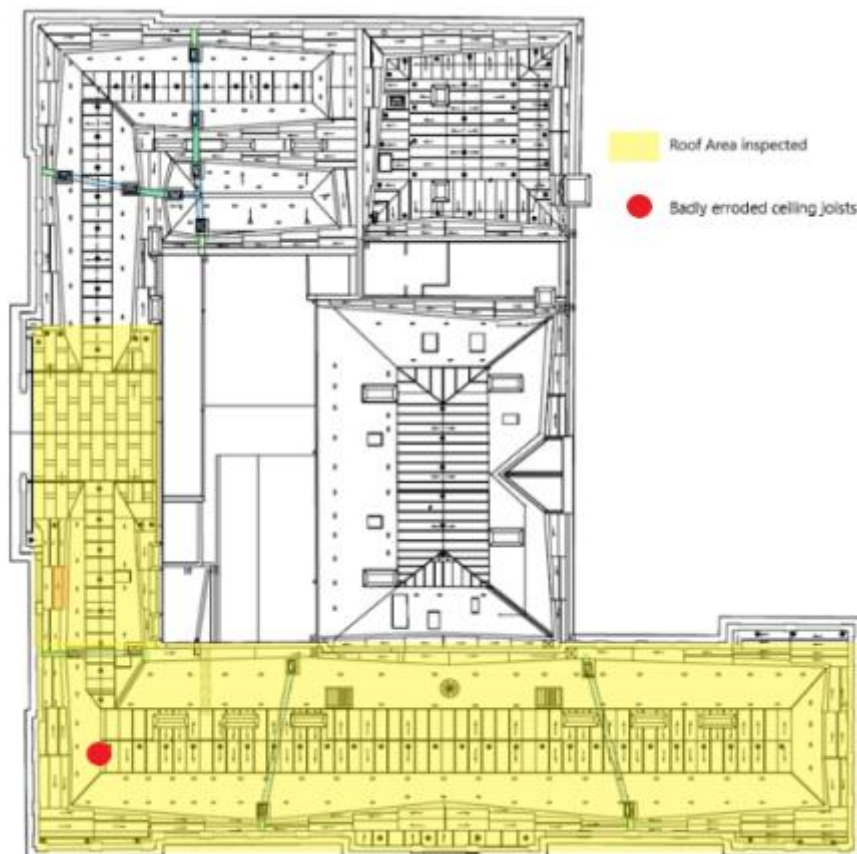
The building is Grade 1 Listed Wentworth Castle and is also known as Northern College. The building is also within Grade 1 Listed Registered Park and Garden of Wentworth Castle. Other Listed Buildings are located within proximity of the site and within the Park and Garden. The site is also within the Wentworth Castle and Stainborough Park Conservation Area.

The significance of the site is highly important to the area. Given Wentworth Castle holds substantial historical impact on the area and features distinctive architectural styles and features, reflective of its time and grandeur, making it one of the norths finest and deservedly highly protected buildings.

The application relates to purely internal works in the Long Gallery and Italian Stair rooms.

## Proposed Development

The original Listed Building Consent application included stabilisation works of the ceiling above the Long Gallery and Italian Stairs, upon inspection the extensive beetle damage to the ceiling joists has been discovered which requires further ceiling works and a variation in condition to application 2025/0995. This variation of conditions application therefore proposes to double up the timbers, improving their strength. The proposed works would provide additional support, helping to retain the historic fabric of the Long Gallery and the Italian Stairs



## Relevant Policies

### The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019). The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require.

**Policy D1 High Quality Design and Place Making** – Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

**Policy HE1 The Historic Environment** – indicates that we will positively encourage developments which will help in the management, conservation, understanding and enjoyment of Barnsley's historic environment and will support proposals which conserve and enhance the significance and setting of the borough's heritage assets.

**Policy HE2 Heritage Statements and general application procedures** – indicates the requirement to include a heritage statement with relevant applications.

**Policy HE3 Developments affecting Historic Buildings** – Proposals involving historic buildings should conserve and where appropriate enhance, respect historic precedents, and capitalise on opportunities to reveal significance.

**Policy HE4 Developments affecting Historic Areas or Landscapes** – Proposals that are within or likely to affect the setting and heritage significance of a Registered Park or Garden will be expected to respect the special interest and views of the area and its setting and take account of and respect important landscape elements.

### National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. NPPF policy of relevance to this application includes:

Para 202 – Heritage assets range from sites and buildings of local historic value to those of the highest significance. These assets should be conserved in a manner appropriate to their significance

Paras 208 - 212 – Provide guidance on identifying and assessing the particular significance of heritage assets; on taking account of the desirability of sustaining and enhancing the significance of heritage assets; and that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation, irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Para 213 – Any harm to, or loss of, the significance of a designated heritage asset should require clear and convincing justification. Substantial harm to assets of the highest significance, including Grade I listed buildings, should be wholly exceptional.

Para 215 – Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

## **Representations**

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

It must be noted this is a variation of condition application and planning permission for the works which have been approved under application 2025/0995.

## **Consultations**

Historic – No Objections

Conservation Officer – No Objections

## **Assessment**

For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

### Principle of the proposed works

The proposal involves internal works of repair to ceilings. The proposal is acceptable in principle subject to assessment of the matters of detail below.

### Impact on Heritage Asset

The proposal includes the increased structural works to the timbers above the ceiling for the Long Gallery and Italian Stairs. The works are necessary to ensure the structural security of the ceilings. The works would not impact the visual heritage of the site and would ensure the safety of visitors. The variation of the condition would not alter the visual character of the site given the works are alterations to the timbers above the ceiling. The applicant has gone to efforts to retain the original timbers, maximising the original fabric of the building.

The conservation officer has raised no concerns against the proposal. Although the proposal will result in some modern alterations which impact upon the historic character of the structure, the improved structural integrity of the ceiling will help to preserve the ceiling on the whole for an improved length of time.

Historic England have submitted a similar approach to the conservation officer, that although the works may be more modern and impact on the historical integrity of the building, the structural integrity should take precedence and justifies the proposed works.

Overall, the proposal would provide some modern alterations, however given the importance of the structural integrity of the ceiling, the proposed works are considered necessary and take precedence over the potential historical harm.

### Planning Balance & Conclusion

Overall, the proposed works are considered to be acceptable. Consultees have either not commented or have supported the proposal. It has already been concluded above that the public benefits of the works outweigh any harm to the listed building. Since there are no other material planning considerations it follows that the planning balance weighs in favour of granting approval for the variation of condition to a listed building consent. The proposal is therefore recommended for approval.

Recommendation

Approve subject to conditions

### **Justification**

#### **STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015**

It has been necessary to make contact with the applicant to request an amendment to the application form to ensure the correct application is being varied.

**Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.**

1) The development hereby permitted shall be begun prior to 22/12/2028 to align with condition 1 of application 2025/0995

Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.

2) The development hereby approved shall be carried out strictly in accordance with the plans

Excel Plaster Detail

Existing Basement Floor Plan drawing number 23-023N-010

Existing Lower Ground Floor Plan drawing number 23-023N-011

Existing Upper Ground Floor Plan drawing number 23-023N-012

Existing First Floor Plan drawing number 23-023N-013

Existing Second Floor Plan drawing number 23-023N-014

Existing Attic Floor Plan drawing number 23-023N-015

Existing Roof Plan drawing number 23-023N-016

Plaster Ceiling Survey Hirst Conservation 2 August 2024

Repair of Long Gallery Ceiling Options Appraisal and Method Statement

Heritage Impact Statement

Supporting Statement

Timber Roof Report

and specifications as approved unless required by any other conditions in this permission.  
Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.