

2024/0044

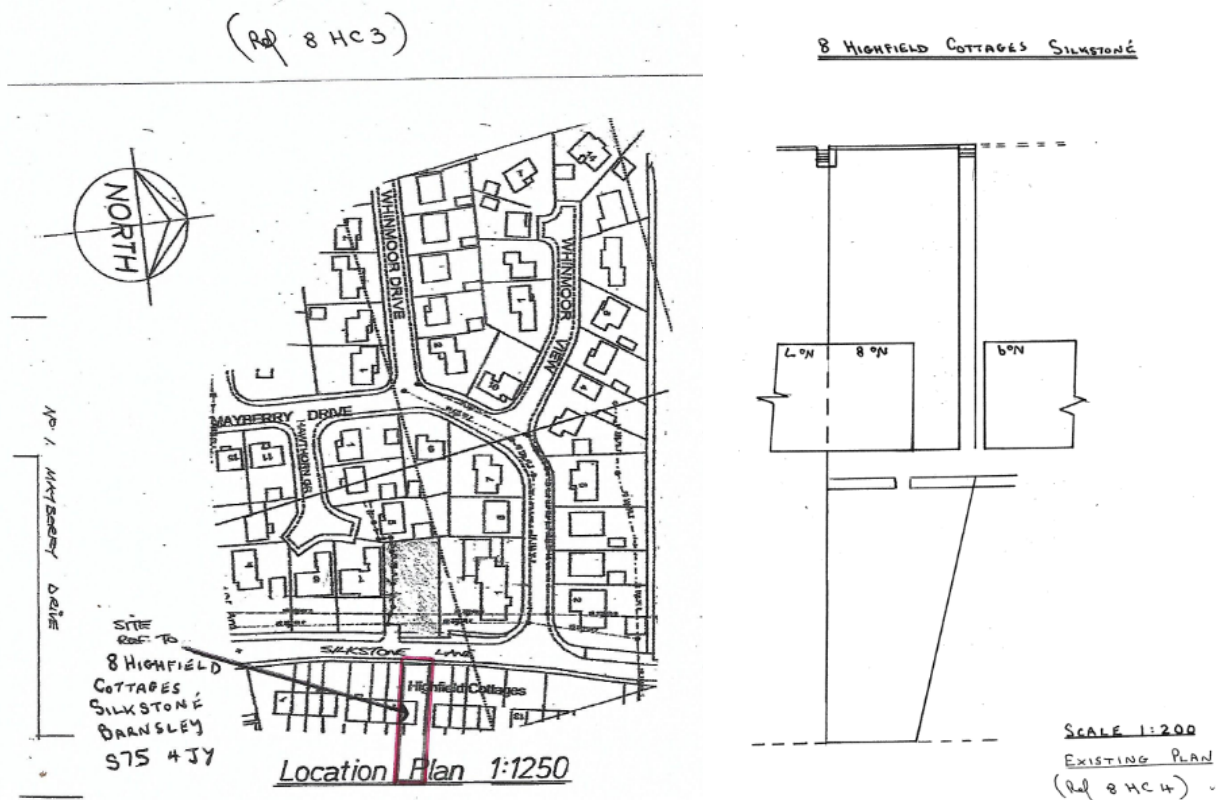
Mr Matthew Morrisroe

8 Highfield Cottages, Silkstone, Barnsley, S75 4JY

Installation of dropped kerb access and new parking area to front of property

Site Description

The application relates to an end terraced property fronting onto Silkstone Lane. The property is a two-storey stone built dwelling set back from the road within a long line of similarly designed dwellings with large front garden areas. The property is bound by a stone wall along the frontage and has a lawned front garden located at a lower level with a stepped pedestrian access from Silkstone Lane. Adjacent to the site is a new build detached property. Vehicular access for properties along Silkstone Lane is not an uncommon feature.



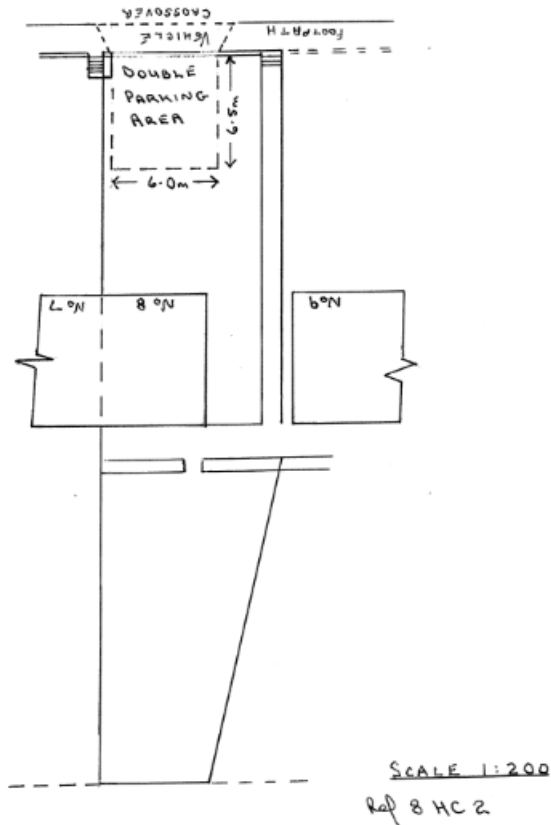
Planning History

There is no planning history associated with the development site.

Proposed Development

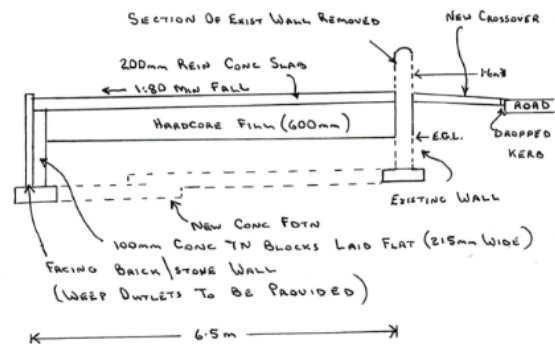
The applicant is seeking permission for the installation of a dropped kerb on a classified highway to provide access to a new parking area at the front of the property. The proposal will also provide a new parking area for two vehicles with access onto Silkstone Lane via the dropped kerb.

8 HIGHFIELD COTTAGES SILKSTONE



8 HIGHFIELD COTTAGES SILKSTONE

ALL WORK TO BE CARRIED OUT BY COMPETENT OPERATIVES TO LOCAL AUTHORITY STANDARDS. CROSSOVER CONTRACTOR TO BE HIGHWAYS AND LOCAL AUTHORITIES APPROVED.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric and Green Belt

The application site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation, but the highway is in the Green Belt. Therefore, the following policies are relevant:

- **Policy SD1: Presumption in favour of Sustainable Development.**
- **Policy T4: New Development and Transport Safety.**

National Planning Policy Framework (December 2024)

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant sections include:

- **Section 9: Promoting sustainable transport.**
- **Section 12: Achieving well-designed places.**

Supplementary Planning Document(s)

- **House Extensions and Other Domestic Alterations.**
- **Parking.**

Consultations

Highways Development Control	No objection subject to informative.
Penistone Town Council	No comments
Silkstone Parish Council	No comments
Drainage	No objections subject to condition

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

Planning permission is required for access onto, and development upon, a classified highway and permission will be granted where such development does not impinge upon highway safety.

The principle of development is therefore considered acceptable.

Highway Safety

Significant planning weight is given to highway safety. Highways Development Control were consulted, and, in their response, they state that typically new vehicular accesses are only permitted on classified routes if there is sufficient room for vehicles to turn within the site curtilage. However, it has been noted that there are a number of properties within very close proximity to the site which have similar vehicular access to the proposal, with no turning facilities. The highways department note that a precedent has been set within the local area. Taking into consideration the local context no objection to the scheme was raised.

The proposal will provide two off street parking positions which is comparable to the acceptable parking provisions set within SPD: Parking.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and is acceptable regarding highway safety.

Planning Balance and Conclusion

The existing property does not have provision for off street parking. The proposals will provide adequate provision to satisfy the requirements within SPD: Parking Policy. Although the proposal does not meet all the requirements in terms of the provision of a turning area, taking into consideration the local context, the highways department do not wish to raise an objection. On balance the proposal is acceptable.

**Recommendation -
Approve with Conditions**