
2024/0640

Mr Jamie Allinson

Proposed extension to Welfare Club for use as beer store.

Worsbrough Bridge Football and Cricket Club, Park Road, Worsbrough, Barnsley, S70 5LJ

Site Location & Description

The application site is an existing working men's club/sports pub building located on the edge of Worsbrough. The building is sited to the west of Park Road and is part single storey, part two storey, with a flat roof. The building is set back from the road with a car park to the front, which is bound by a traditional stone wall. The building sits at a slightly lower level than the car park, reducing its massing when viewed from the street.

The building is finished in light grey render and red brick, with the existing double doors secured by roller shutter doors along the front elevation. Steps lead down from the car park to the entrance level, with main vehicular access off Park Road.

The pub is associated with the football/cricket club which is located to the rear of the site. A full-size football pitch is located to the immediate west of the building with associated pavilion and outbuildings accessed via the application site.

Residential properties are located to the north of the site, whilst commercial units are located on the eastern side of Park Road. Worsbrough Mill and Country Park is located further to the east of the site.



Site History

2006/0340 - Erection of canopy to sports ground, GRANTED, 20/4/2006

B/00/0975/WB - Renewal of planning consent B/95/0740/WB - Erection of 40m length of screen fencing to sports ground, GRANTED, 14/9/2000

B/95/0740/WB - Erection of 40 metre long sight screen to sports ground, GRANTED, 10/8/1995

B/95/0559/WB - Erection of canopy covering spectator viewing area, GRANTED, 29/6/1995

B/94/0898/WB - Erection of urinal building, GRANTED, 31/8/1994

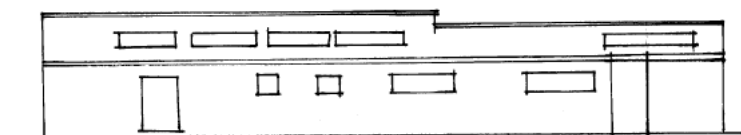
B/93/0717/WB - Erection of four floodlighting columns, GRANTED, 12/8/1993

Proposed Development

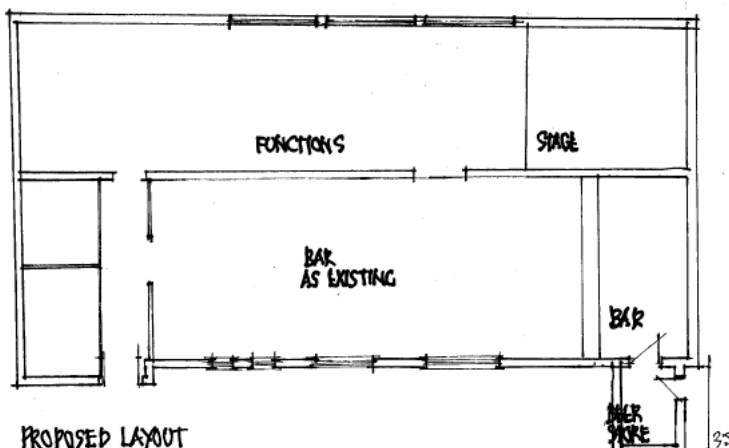
This application seeks full planning permission for a small single storey extension to be used for the storage of beer/alcohol. The functional/customer serving area will not be extended. The extension will project off the most north-eastern corner of the building, on the front elevation.

The extension will have a forwards projection of 3.9m and a width of 3.4m. A single door will be positioned on the north facing elevation, though there will be no windows, and the external walls will be finished in matching render.

The development will result in the loss of 1 parking space due the forward projection towards the existing car park.



PROPOSED FRONT ELEVATION



PROPOSED LAYOUT

Policy Context

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment and mixed use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Site Allocation/Designation

The application site is washed over by Green Belt as defined in the adopted Barnsley Local Plan, as well as being a designated Green Space – Worsbrough Bridge Miners Welfare.

The site falls within the Dearne Valley Green Heart Nature Improvement Area. The site is in a low-risk development area as per the Coal Authority maps. The site is in Flood Zone 2 and 3 thus at high risk of flooding as per the Environment Agency maps.

National Planning Policy Framework – December 2023

The National Planning Policy Framework (NPPF) was revised in December 2023, replacing the previous versions. The NPPF is a material consideration when assessing planning applications. The following sections are relevant to this application proposal:

Section 11- Making Effective Use of Land

Section 12- Achieving Well-designed and Beautiful Places

Section 13 – Protecting Green Belt Land

Section 14- Meeting the Challenge of Climate Change, Flooding and Coastal Change

Section 15 – Conserving and Enhancing the Natural Environment

Barnsley Local Plan 2019

The following Local Plan policies are relevant:

Policy GD1: General Development

Policy D1: High Quality Design and Place Making

Policy SD1: Presumption in favour of Sustainable Development

Policy T4: New Development and Transport Safety

Policy LC1: Landscape Character

Policy POLL1: Pollution Control and Protection

Policy CC1: Climate Change

Policy GB1: Protection of Green Belt

Policy GB2: Replacement, Extension and Alteration of Existing Buildings in the Green Belt

Policy GS1: Green Space

Policy CC3: Flood Risk

Supplementary Planning Documents

The Council have adopted SPDs to provide further guidance about the implementation of specific planning policies in the Local Plan. The adopted SPDs should be treated as material considerations in decision-making and are afforded full weight. The following SPDs are relevant to this proposal:

Parking, November 2019

Consultations

Local Ward Cllrs– No response.

Environment Agency – No response.

Highways DC- The development will result in the loss of one parking space, but this is not considered to be a significant impact upon parking availability. No objection and no conditions required.

Drainage – No objection, no conditions required.

Pollution Control- No objection subject to a condition relating to construction hours.

Yorkshire Water – No response.

Representations

This application has been advertised in accordance with the Development Management Procedure Order 2015 as follows:

- Site Notice displayed (public interest), consultation expiry: 9/9/2024
- Neighbour Notification letter, consultation expiry: 3/9/2024

4 representations have been received in total, 3 in objection (though from the same address) and 1 in support of the proposed development. These are summarised below:

Objection:

- Impact upon residential amenity;
- Overshadowing;
- Noise disturbance;
- Overlooking/impact upon privacy;
- Odours;

- Safety risks/anti-social behaviour;
- Impact upon property value;
- Impact upon visual appearance;
- Increased pests/vermin;

The impact upon property valuation is not a material planning consideration and is therefore disregarded. The other issues raised will be addressed in the assessment below.

Support:

- The club provides valuable community facilities, and the new store will help to ensure that the use can continue to operate for the benefit of local people.

Assessment

Principle of Development

Section 13 of the NPPF relates to the Green Belt. Paragraph 152 states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in 'very special circumstances.'

Paragraph 153 states that when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

Paragraph 154 states that the construction of new buildings are inappropriate in the Green Belt apart from where the following exceptions are satisfied:

C) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;

Local Plan Policy GB1 states the Green Belt will be protected from inappropriate development in accordance with national planning policy.

Local Plan Policy GB2 relates to replacement and alterations of buildings in the Green Belt and builds upon the above stating that provided there will be no harmful impact upon the appearance or character and will preserve the openness of the Green Belt, the following development will be supported:

- Extension or alteration of a building where the total size of the proposed and previous extensions do not exceed the size of the original building;

The proposed development consists of a small extension to an existing building within the Green Belt. The extension is minor in terms of its size and scale in comparison to the existing pub and is therefore proportionate. The planning history does not indicate that the building has been extended previously. On this basis, the development complies with Paragraph 154C of the NPPF and is acceptable in principle in terms of its Green Belt location.

Local Plan Policy GS1 states that proposals which result in the loss of Green Space will not normally be allowed unless: the proposal is for small scale facilities needed to support or improve the proper function of the green space.

As mentioned above, the development relates to a small extension to an existing building. The land proposed for the extension is currently used for car parking, rather than formal green space. The playing pitches to the rear of the site will not be impacted by the development and therefore there is no loss of green space.

On this basis the principle of the proposed development is considered to be acceptable subject to the considerations below.

Design, Appearance and Impact upon Green Belt

NPPF Paragraph 135 relates to high quality design and states that developments should function well and add to the overall quality of the area; are visually attractive; sympathetic to local character; maintain a strong sense of place whilst optimising the potential of the site and create places which are safe and inclusive and promote well-being.

Local Plan Policy D1 states that development is expected to be of high-quality design and should respect and reinforce the distinctive, local character and features. Development should contribute to place making and make the best use of materials.

Policy GB2 states that all development in the Green Belt is expected to be of a high standard of design and respect the character of the existing building and its surroundings, in its footprint, scale, massing, elevation design and materials. The development should have no adverse effect on the amenity of local residents, the visual amenity of the area or highway safety.

The proposed extension will project off the north-eastern corner of the existing building and will slightly encroach upon the existing car park. Therefore, the development will not impact upon the openness of the Green Belt.

The extension is minor in scale, with a total footprint of 13.2sqm. The appearance of the extension is in-keeping with the existing building, being of the same height; similar style flat roof and to be finished in matching coloured render (as stated in the application form). Overall, the development is acceptable in terms of design and appearance subject to strict accordance with the matching materials condition.

Impact Upon Residential Amenity

Local Plan Policy GD1 states that proposals for development will be approved if there are no significant adverse effect on the living conditions and residential amenity of existing and future residents. Proposals should be compatible with neighbouring land and should not significantly prejudice the current or future use of neighbouring land.

Local Plan Policy POLL1 states that development will be expected to demonstrate that there would be no unacceptable affect or cause a nuisance to the natural and built environment or to people.

It is recognised that residential properties are located within close vicinity of the existing pub building with Nos. 6-8 Kendal Crescent sited circa 28m to the north. Concerns have been raised regarding the potential impact upon residential amenity by virtue of the alcohol store use of the extension.

However, the disturbance caused by the proposed use is not considered to be substantially harmful. The application site is already in use as a pub/club and the extension will not significantly increase or alter the existing operations. The extension will not encroach closer to the existing neighbours, with the extension to be flush with the current side elevation of the building.

Whilst there may be some noise disturbance associated with the moving of alcohol, this activity already occurs at the site. The opening hours of the pub are not proposed to alter, and the concerns regarding odour are considered to be negligible. The Council's Pollution Control Officer has reviewed the application and has no objection in relation to residential amenity. The application does not suggest that food/waste will be stored in the extension and therefore the concerns regarding vermin/pests are disregarded.

The extension does not include any windows and therefore overlooking/intrusion upon privacy will not occur. The height of the extension is in-keeping with the roof height of the existing building, and therefore no additional overshadowing will occur.

The properties to the north benefit from generous gardens which extend to circa 25m in length. The extension will project towards the existing car park rather than towards the residential gardens and will simply provide additional storage space at the existing pub. The development will not significantly impact residential amenity and is acceptable.

A condition is attached in relation to construction hours to protect amenity during the construction period.

Highways Considerations

NPPF Paragraph 115 states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety or the residual cumulative impacts on the road network would be severe.

Local Plan Policy T4 states that new development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

The Highways DC Officer has reviewed the application and has no objection to the proposal. Whilst it is noted that the development will result in the loss of 1 parking space, this is not considered to detrimentally impact the availability of parking.

The development does not increase the usable/operational floor space at the site, and therefore does not impact the number of customers or staff. On this basis, there will be no long-term implication upon highway safety and no conditions are required.

Drainage/Flood Risk

NPPF Paragraph 165 states that inappropriate development in areas at risk of flooding should be avoided.

Paragraph 166 states that advice from relevant flood risk management authorities such as lead local flood authorities and internal drainage boards should be taken into account.

Local Plan Policy CC3 states that new development should not be permitted where there would be an unacceptable risk of flooding. The policy states that developers with proposals in Flood Zone 2 and 3 should provide evidence of the sequential test and exception test where appropriate, in addition to a site specific flood risk assessment (FRA).

Annex 3 of the NPPF sets out the flood risk vulnerability classification which defines restaurant/shop type buildings as 'less vulnerable'.

The application site falls within flood zone 2 and 3. The application has been supported by a sufficient FRA and BMBC Drainage team, Yorkshire Water and the Environment Agency have been consulted on the application. None of the consultees which have raised any objections in terms of drainage/flood risk.

The development is minor in scale with an external floorspace of 13.2sqm. Given that the development is an extension to an existing building, an alternative site would not be appropriate, therefore a sequential test is not required. Similarly, the minor scale of the building and its low vulnerability use means that an exceptions test is not required.

Overall the development is acceptable in terms of drainage/flood risk.

Conclusion

The site has a long-established use as a working men's/sports club, and the proposed development will look to retain this use. The extension is minor in scale and will not significantly harm nearby residential amenity. Whilst concerns have been raised by an adjacent neighbour, the development will not increase the overall activities occurring at the site. The extension is a suitable distance from the adjacent dwellings and, therefore the concerns raised are considered to be negligible.

The proposed extension will project towards the car park, and not impact the openness of the Green Belt. The extension has been designed to appear in-keeping with the existing building, and though the development will result in the loss of one parking space, this will not detrimentally impact parking availability.

In summary, the proposed development is acceptable subject to the conditions attached.

Recommendation

Approve with conditions

