

**Application Reference:** 2026/0184

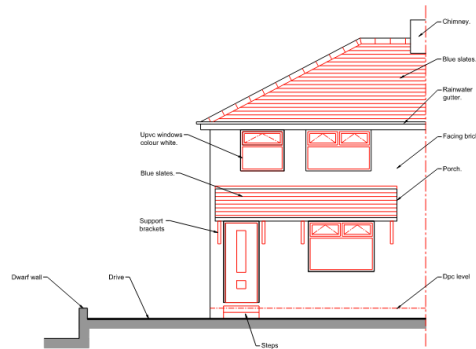
**Site Address:** 9 Bretton Road, Kexbrough, Barnsley, S75 5JZ

**Introduction:**

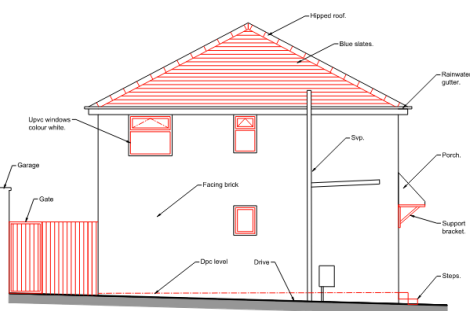
This application seeks planning permission for the erection of 2 storey side and single storey front extensions to dwelling.

**Relevant Site Characteristics**

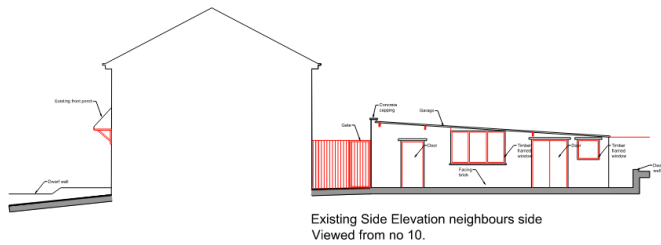
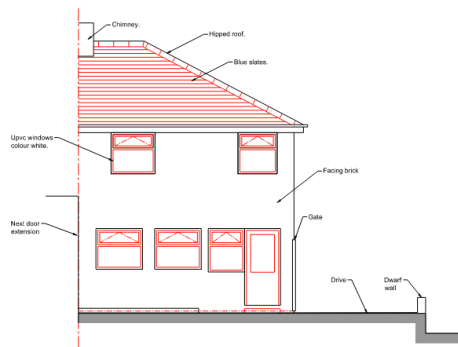
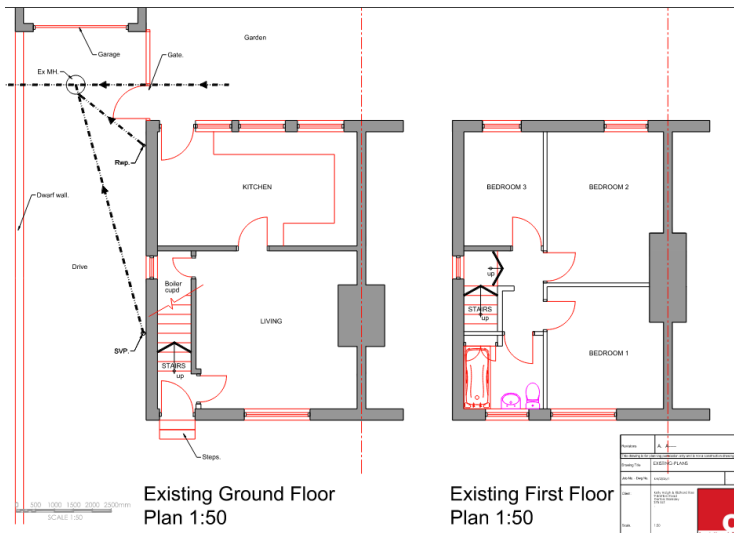
The site is located on Bretton Road which gently rises from east to west resulting in the host property situated at a slightly higher level than the neighbouring property at no.8. The site is situated within a densely populated residential area consisting of semi-detached dwellings of similar style. The site consists of a large semi-detached dwelling set back from the road with a good sized front garden bound by a timber fence. The property has a hipped roof and a canopy across the front elevation of the property. Off street parking is located at the front and side of the dwelling. The side driveway leads to a brick built detached garage located within the rear garden area.



Existing Front Elevation  
1:50



Existing Side Elevation  
1:50



## Site History

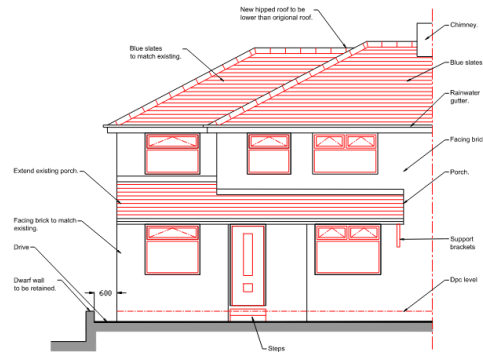
Application Reference	Description	Status (Approved/Refused)
None		

## Detailed description of Proposed Works

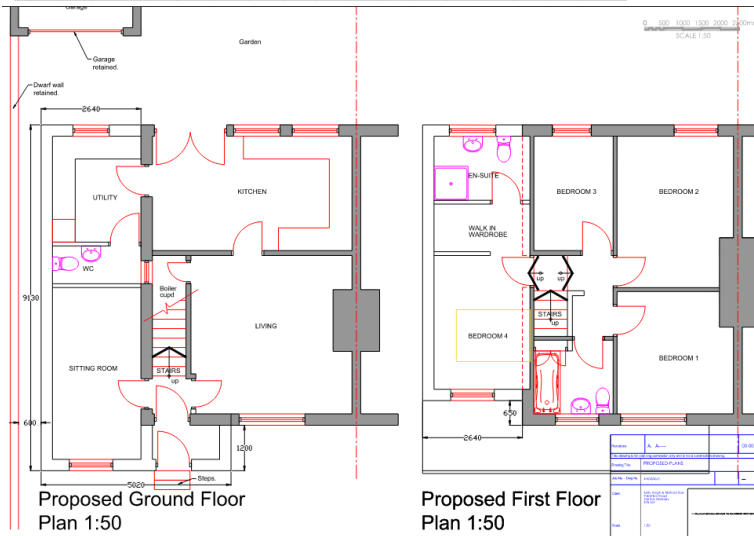
The proposal is to erect a two storey side extension and a single storey front extension creating an L shape around the house. The side extension will project to the side by 2.64m and is stepped back at first floor level by 0.65m with a corresponding lowered roof line creating a sitting room and utility at ground floor level and a bedroom and en-suite at first floor level. The

proposal will project forward creating a single storey front extension across the new extension and entrance door. This will create a porch area and will project 1.2m to the front. A canopy of the same projection will be located across the remaining front elevation. The side extension will be built close to the shared boundary with No. 8 Bretton Road, although a gap of 0.6m will be retained.

The extensions will be built in matching brick and tile. The two storey element has been designed with a hipped roof to match the host property, and the front extension will have a lean to mono pitch.

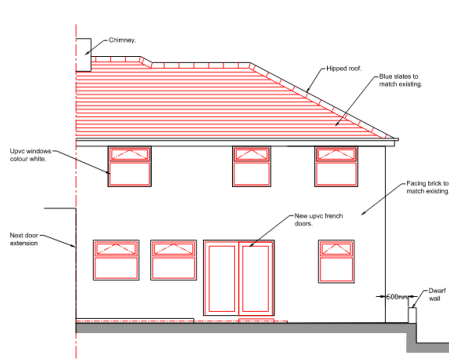


Proposed Front Elevation  
1:50

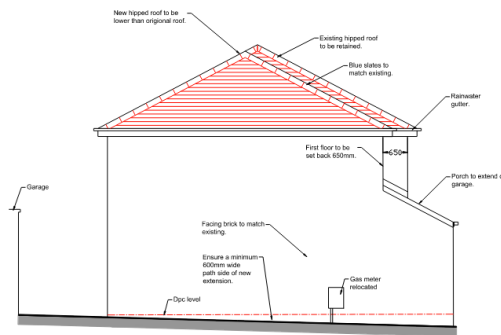


Proposed Ground Floor  
Plan 1:50

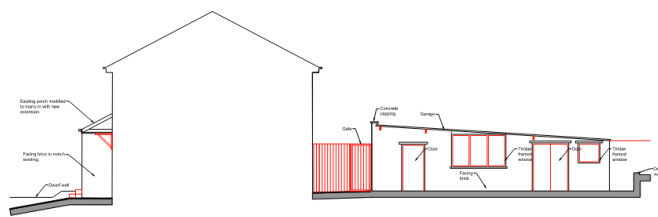
Proposed First Floor  
Plan 1:50



Proposed Rear Elevation  
1:50



Proposed Side Elevation  
1:50



Proposed Side Elevation neighbours side.  
Viewed from no 10.

## Relevant policies

### The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

### National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has

replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social, and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development.

Section 4 - Decision making

Section 12 - Achieving well-designed places.

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

#### Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

#### **Consultations**

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No representations have been received.

#### **Planning Assessment**

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

## **Principle**

The site falls within urban fabric. Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

### Scale, Design and Impact on the Character

SPD: House Extensions indicates that the roof style and pitch should match the existing, particularly when the extension will be prominent within the street scene. The front elevation of a building is the most important for its contribution to the street scene. Generally, therefore, such extensions need to be of a high standard of design and will not be considered acceptable where they would detract from the quality of the existing dwelling or the character of the street scene.

The SPD also indicates that two storey side extensions should have a pitched roof following the form of the existing. To avoid a terracing effect a set back from the main front wall with a corresponding lowered roofline is expected. The sideways projection of a two storey side extension should not exceed more than two thirds the width of the original dwelling to ensure the host property remains balanced and the existing design remains the prominent feature.

The property is located on Bretton Road in Kexbrough amongst a mix of dwelling types of a similar design. The proposed two storey side extension has been designed with a hipped roof and a set back at first floor level with a corresponding lowered roof line which will ensure the proposal is subordinate to the host property. The materials proposed will be matching brick and tile in line with planning policy. A gap of 0.6m will be retained along the shared boundary with no. 8 which will also help prevent a terracing effect. The side projection will not exceed more than two thirds of the width of the original dwelling in compliance with the principles set out within SPD: House Extensions.

The single storey element has a modest front projection and has been designed with a lean to roof connecting with the existing canopy and will be constructed in matching materials which will harmonise with the existing dwelling. Extensions to the front and side of properties within this location are commonplace therefore the proposal is not expected to appear incongruous.

When taking into account the above in this instance the proposed front and side extensions are acceptable. The materials and design of the proposals when viewed in their entirety are not expected to be visually detrimental within the surroundings and as a result the proposal is in compliance with Local Plan Policy GD1 and House Extensions SPD.

Significant weight has been given to the design and impact on the character of the area.

### Impact on Neighbouring Amenity

SPD: House Extensions provides expectations in relation to domestic extensions. Extensions should be designed so that they do not result in significant overlooking of habitable room windows to nearby houses or private gardens. The Council will seek to protect principle habitable room windows on the front and rear elevations of the adjacent property, but not secondary windows particularly those on side elevations of adjacent dwellings. The property is semi-detached and it is noted that the neighbouring property to east is set at a slightly lower level and has some side windows facing the application site.

As the windows appear to be secondary windows that are located on the adjacent dwelling, these windows do not warrant protection. It is acknowledged that these windows will be

overshadowed with the proposed side extension, however, the extension will be built 0.6m away from the shared boundary which will lessen the potential impact. The single storey front projection will project 1.2m which is small scale and again not expected to negatively impact the neighbouring properties by overshadowing and loss of light due to the location and path of the sun.

Due to the size and orientation of the proposed extensions in relation to the neighbouring properties the impact has been closely assessed. Taking into consideration and the characteristics of the site, the proposals are not expected to cause any disproportionate harmful impact in terms of residential amenity.

The application is therefore acceptable in terms of residential amenity in compliance with Local Plan Policy GD1 and D1.

Significant weight has been given to the impact on residential amenity.

### Highways

The proposals increase the floor space of the dwelling, including the number of bedrooms. The extension will provide an additional bedroom resulting in a four bedroomed dwelling. As the proposal is to extend to the side of the property the number of off street parking spaces will be reduced. That said, SPD: Parking states that one parking space should be retained for dwellings with one or two bedrooms two spaces for dwellings with three or more bedrooms.

The existing front garden area and retained driveway will retain off street parking for two vehicles in line with this policy. As such, the scheme is acceptable from a highways development control perspective in compliance with Local Plan Policy T4 New development and Transport Safety and SPD: Parking.

Moderate weight has been given to highway safety.

### Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

### **RECOMMENDATION: Approve subject to conditions**

#### **Justification**

#### **STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015**

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.

**Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home, and his correspondence.**