
2024/0863

Applicant: Mr Simon Gaughan

Address: Bridge Foot Cottage, High Street, Silkstone, Barnsley, S75 4LZ

Description: Addition of pitched roof to existing single storey garage for the creation of an internal storage mezzanine.

Site & Location Description:

The existing garage is located within the curtilage, and adjacent to Bridge Foot Cottage, a stone built detached cottage located approx. 40m from High Street in the village off Silkstone, behind the Ring O Bells Public House. The garage itself is a single-story structure situated between the side, although the principal elevation of the dwelling, and the Pub; the garage is also situated at a higher level than the lowest ground level of the cottage. Whilst the age or construction of the existing garage is not clear, it would appear to be a later addition to the main house and offers little architectural merit which results in neutral impact on visual amenity. There is a small lean-to structure attached to the garage, but this is predominantly obscured when viewed from the front elevation due to foliage growth.



Planning History: None

Proposed:

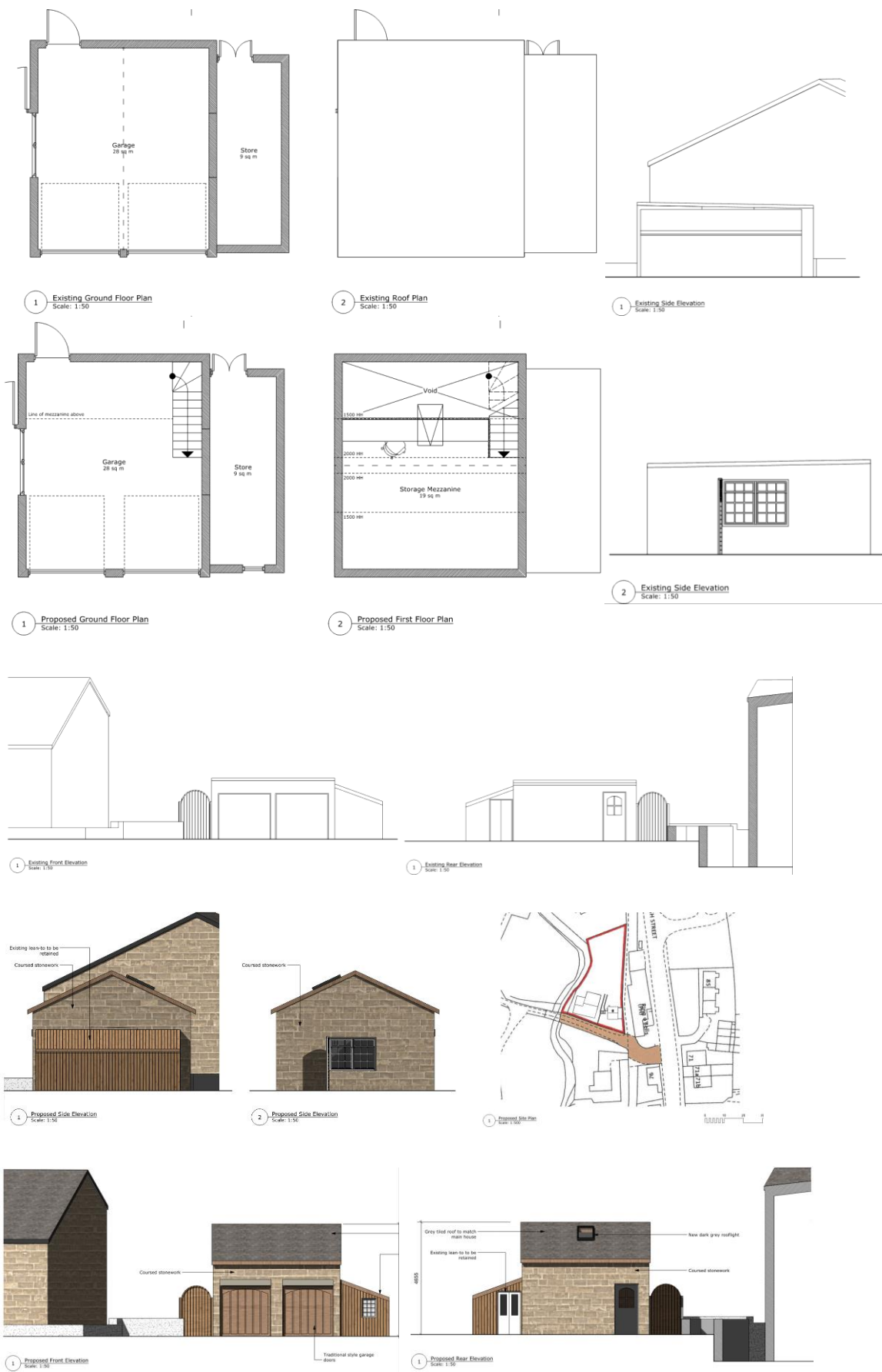
The proposal is for a renovation of the garage the addition of a dual-pitched roof, the creation of a mezzanine area for storage, insertion an Internal staircase and the addition of a roof light. The externally visible materials of the garage and lean-to would also be improved, including two new garage doors.

Approximate Measurements:

The footprint of the garage and the lean-to would remain unaltered. Existing eaves and roof heights in brackets.

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| ▪ Total Width: 7.32m | ▪ Garage Eaves Height: 3.06m (2.50m – 2.61m) |
| ▪ Garage: 5.28m | ▪ Garage Roof height: 4.66m (2.39m – 2.49m) |
| ▪ Lean-To: 2.04m | ▪ Lean-To Eaves Height: 1.61m (unchanged) |
| ▪ Garage Length: 6.14m | ▪ Lean-To Roof Height: 2.36m (unchanged) |
| ▪ Garage 6.14m | ▪ Internal Mezzanine Floor Space: 19 sqm |
| ▪ Lean-To: 5.41m | |

Existing and Proposed Floor Plans and Elevations



Local Plan Designation: Urban Fabric

Conservation Area: No

Neighbour Representations:

Letters were sent to nearby addresses; No comments were received.

Publicity:

A notice was published in the local newspaper. A site notice was also posted near to the address. No Comments were received.

Consultees:

Public Rights of Way: Confirmed that the proposal does not directly affect the Public Right of Way (Silkstone FP 13) but it is only maintained by the council to a standard suitable for pedestrians. Whilst car vehicular use is allowed, any maintenance to a standard for vehicles or any repairs to damaged caused to by vehicles would be the responsibility of the landowner.

Parish Council: No comments or objections received

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well-designed places -

The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.

Within section 12, paragraph 139 is the most relevant which indicates:-

Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or
- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Local Plan

In reference to this application, the following Local Plan policies are relevant:

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

GS2 - Green Ways and Public Rights of Way - We will protect Green Ways and Public Rights of Way from development that may affect their character or function. Where development affects an existing Green Way or Public Right of Way it must:

Protect the existing route within the development;
or include an equally convenient and attractive alternative route.

Where new development is close to a Green Way or Public Right of Way it may be required to:
Provide a link to the existing route; and/or Improve an existing route; and/or Contribute to a new route.

SD1 - Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

T4 - New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties or outbuildings within their curtilage are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

There would be minimal impact on the amenity of any residents of the adjacent public house Public House as the proposed increase in roof height would not block the seemingly two first floor windows it's rear elevation; it is unknown if these windows are residential habitual room window or part of the commercial premises. The distance to the other residential neighbouring dwelling is sufficient for there to be no negative impact to their amenity. Although storage is being added to the first floor, the garage would remain an auxiliary outbuilding to the residential address. Use as habitable accommodation would require separate planning consent.

Visual Amenity

There would be no negative impact on the visual amenity of the area or detrimental impact to neighbouring dwellings. The proposal is unlikely to be seen by the majority of the public passing by on High Street but what would be visible from the Public Right of way would be an arguable improvement in visual appearance in comparison to the existing garage.

Highway Safety

There are no proposed changes to access or parking arrangements, which consequently means there is no impact upon Highway Safety.

Recommendation: Approve with conditions