

**Application Reference:** 2025/1066

**Site Address:** 15 Venetian Crescent, Darfield, Barnsley, S73 9PZ

**Introduction:** This application seeks full planning permission for the erection

**Site Characteristics:**

Located on small cul-de-sac with similar styled and extended bungalows and dormer bungalows; the application dwelling is a buff brick coloured dormer with a side gable roof. The dwelling features ground floor, front and rear conservatory style extensions of a modest size. There is a Public Right of Way running along the rear of the dwelling, and a separate pathway running alongside the southern side of the dwelling.

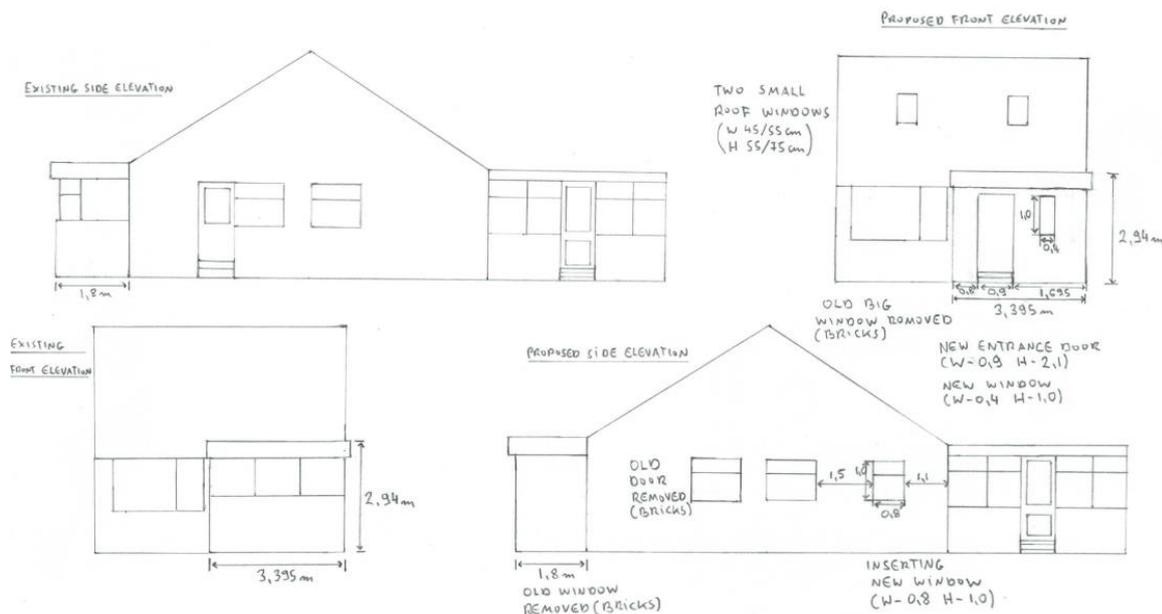
**Relevant Site History**

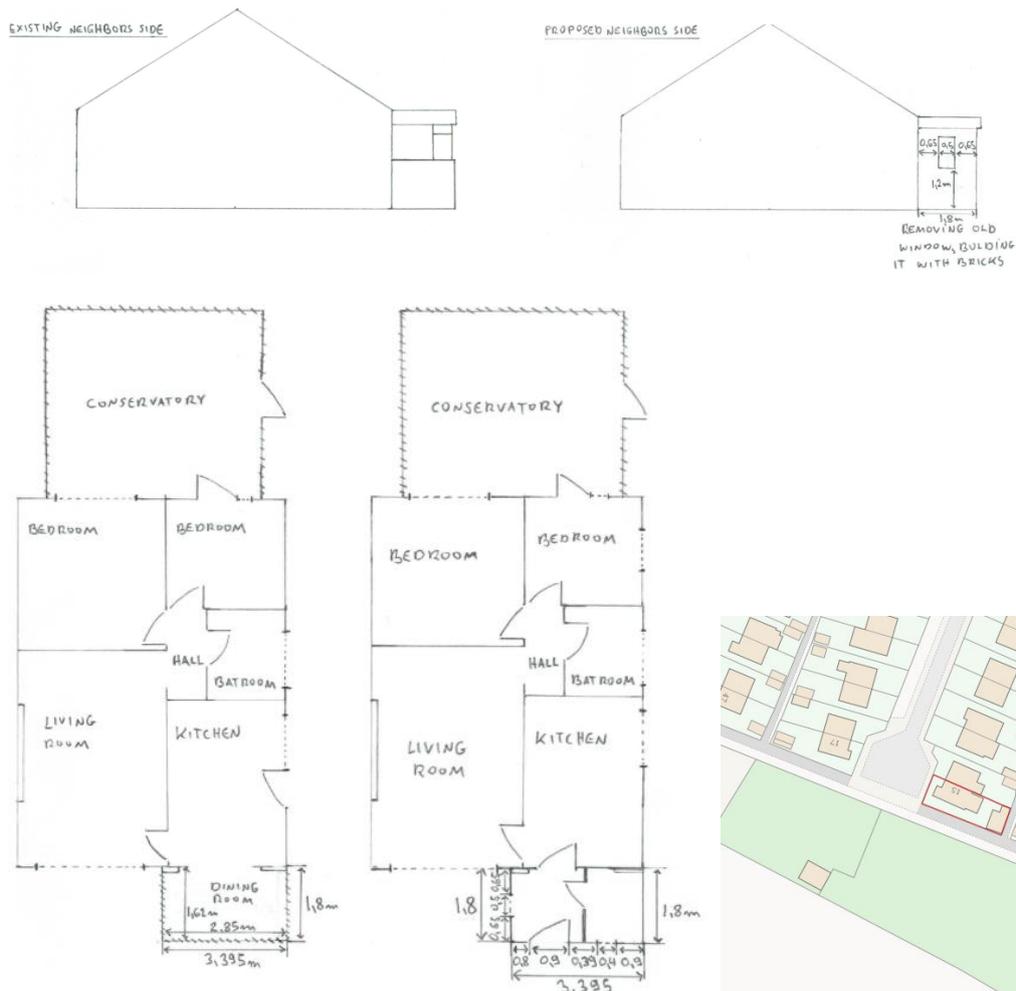
Application	Description	Status
2009/0407	Demolition of existing garage/ store and erection of new garage/ store to dwelling	Approved
B/03/0103/DA	Erection of side attached car-port with first floor room above and detached garage/store building	Approved
B/02/1299/DA	Erection of side attached car-port with first floor room above and detached garage/store building.	Approved
B/78/1064/DA	Erection of extension to front to form dining room	Unknown
B/78/0079/DA	To erect extension to dwelling	Unknown

**Detailed description of Proposed Works**

The proposal is for minor alterations to the existing front porch.

Existing and Proposed Elevations & Plans





### The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

### National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

### Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

### **Consultations**

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No comments have been received

Public Rights of Way (PROW): PROW acknowledged that whilst there is a Public Right of Way at the rear of the dwelling, there would be no expected impact from the proposal, and that just a standard informative should be included in any decision notice for approval.

## **Planning Assessment**

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

### Principle

The site falls within Urban Fabric. Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties

### Scale, Design and Impact on the Character

The proposal would make minor alternations to the existing front porch, and to the original side elevation of the dwelling, both of which could have an impact upon the design and character of the dwelling.

An existing entrance door on the original side elevation of the dwelling is proposed to be removed and bricked up. On the same elevation, a third window opening is also proposed. The proposed opening would be approximately at the same height as the existing window openings, both from ground level and in height of the actual opening. The width of the opening would be narrower than the existing two window openings but the window frame is proposed to be a similar style.

The existing front extension is of a modest size of with approximate measurements for the width of 3.95m, front projection of 1.8m, and a flat roof height of 2.94m. The extension is currently constricted of brick at the lower half of the extension, with wraparound glazing covering the upper half of the extension below the current flat roof.

The proposal would retain the size of the extension but would replace the wraparound glazing with brick on the southern side elevation, brick and a small window on the northern elevation, and introduce a new front entrance door and window on the western front elevation. A replacement flat roof and drainage would also be included.

With much of the work being considered as permitted development and with no increase in footprint size of the existing dwelling, there would be very limited grounds for potential refusal of the application. It would have been preferred if the roof had had been pitched and tiled, but the like for like roof would likely be a modest improvement on the existing older roof, and when considered together with the other improvements to the extension, there would be considered

to be little or no negative impact on the scale, design and character of the dwelling as it currently stands.

The new bedroom window proposed to the side elevation is set a sufficient distance from neighbouring properties for overlooking/loss of privacy to be avoided.

With little or no impact the proposal would be in accordance with local policy D1 and GD1, which carries moderate weight in favour of the proposal.

#### Impact on Neighbouring Amenity

With the dwelling only featuring one attached neighbour, a good distance between the neighbouring dwellings opposite, and no proposed works on the rear elevation, the proposal would broadly have little or no impact upon residential amenity.

For the attached neighbouring dwelling, the proposal would reduce the impact of the existing front extension by reducing the amount of glazed windows overlooking their front garden, with the current wraparound glazing being replaced by a single small window on the northern elevation, adjacent to the neighbouring dwelling.

With no change to the projection, width or height of the proposal, which remains modest, and despite featuring a flat roof, is otherwise similar to other front extensions within the street scene, the overall impact of the proposal would be considered to have little or no impact.

With little or no impact on residential amenity, the proposal would be compliant with local Policy GD1, which carries moderate weight in favour of the proposal.

#### Highways

The proposal would not impact the existing access or parking provision, which is adequate for the dwelling size.

#### Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development

### **RECOMMENDATION: Approve subject to conditions**

#### **Justification**

In dealing with the application, the Local Planning Authority has worked with the applicant to

- Clarify the measurements indicated on the plans.

### **STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015**

**Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the**

**recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.**

### **Conditions and Informative**

#### Conditions

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.**

2. The development hereby approved shall be carried out strictly in accordance with amended plans

- Existing and Proposed Floor Plans - Received 11.02.26
- Existing and Proposed Elevations 1 - Received 11.02.26
- Existing and Proposed Elevations 2 - Received 11.02.26
- Location Plan PP-14553858v1
- Bock Plan TQRQM25346004518568

and specifications as approved unless required by any other conditions in this permission.

**Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.**

3. The external materials shall match those used in the existing building.

**Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1**

#### Informatives

1. The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner. If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner
2. A public right of way runs along the back of property. Safe public access on the right of way should remain available at all times, with no obstruction of or encroachment onto the width of the path and no building debris, storage of materials or parked vehicles limiting access at any time. Appropriate measures should be taken to protect the public, including fencing if necessary. If safe public access is not possible at any time then a temporary closure should be arranged, providing at least 4 weeks' notice and details of how public access will be managed. For further information contact [publicrightsofway@barnsley.gov.uk](mailto:publicrightsofway@barnsley.gov.uk)