



### LOCATION PLAN

Scale 1:1250

#### GENERAL NOTES

All work on site to be carried out in a professional and workmanlike manner, in accordance with Building Regulations 1992, including 2002 revisions, N.H.B.C. British Standards and relevant Codes of Practice. Materials used are to be the best of their respective kind and fit for purpose. All materials to be used and fixed strictly in accordance with manufacturers recommendations. All dimensions are to be checked on site and any discrepancies verified prior to commencement.

#### NEW STUD WALLS

12.5mm plasterboard and skim both sides 75x50mm timber studs/metal stud wall framing fixed to floor and walls using plugs and screws.

Insulate void between studwork with 75mm Rockwool RWA45 acoustic insulation slabs.

#### NEW CEILING

15mm plasterboard and skim on 100x50mm timber ceiling joists supported off new timber stud walls.

Insulate ceiling with 75mm Rockwool RWA45 acoustic insulation slabs laid between ceiling joists.

#### FLOOR

Existing floor covering to remain. Make good to floor covering where necessary.

#### SKIRTING

Bullnose skirting to match existing painted in gloss white to match existing.

#### ACCESS

Existing Part M level access to remain.

All areas within the shop will be accessible to wheelchair users.

#### DRAINAGE & WASTES

All new foul waste water (sink) to connect to existing AAV via new strap boss - to Building Control satisfaction.

#### FIRE SAFETY

Existing fire detection and sprinkler system to be modified to suit new layout.

Fire detection and sprinkler system to be designed and commissioned by specialist. Commissioning certificate to be provided to Building Control and building owner prior to occupation.

Existing emergency lighting to be modified to suit new layout.

#### HEATING/COOLING/VENTILATION

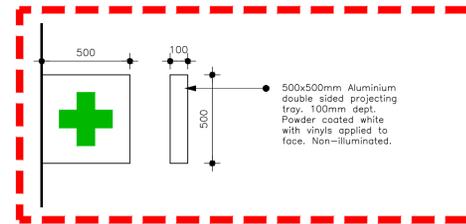
Heating and cooling to be provided by existing air conditioning unit.

#### SERVICES

Existing electrical supply and MCB distribution board to remain.

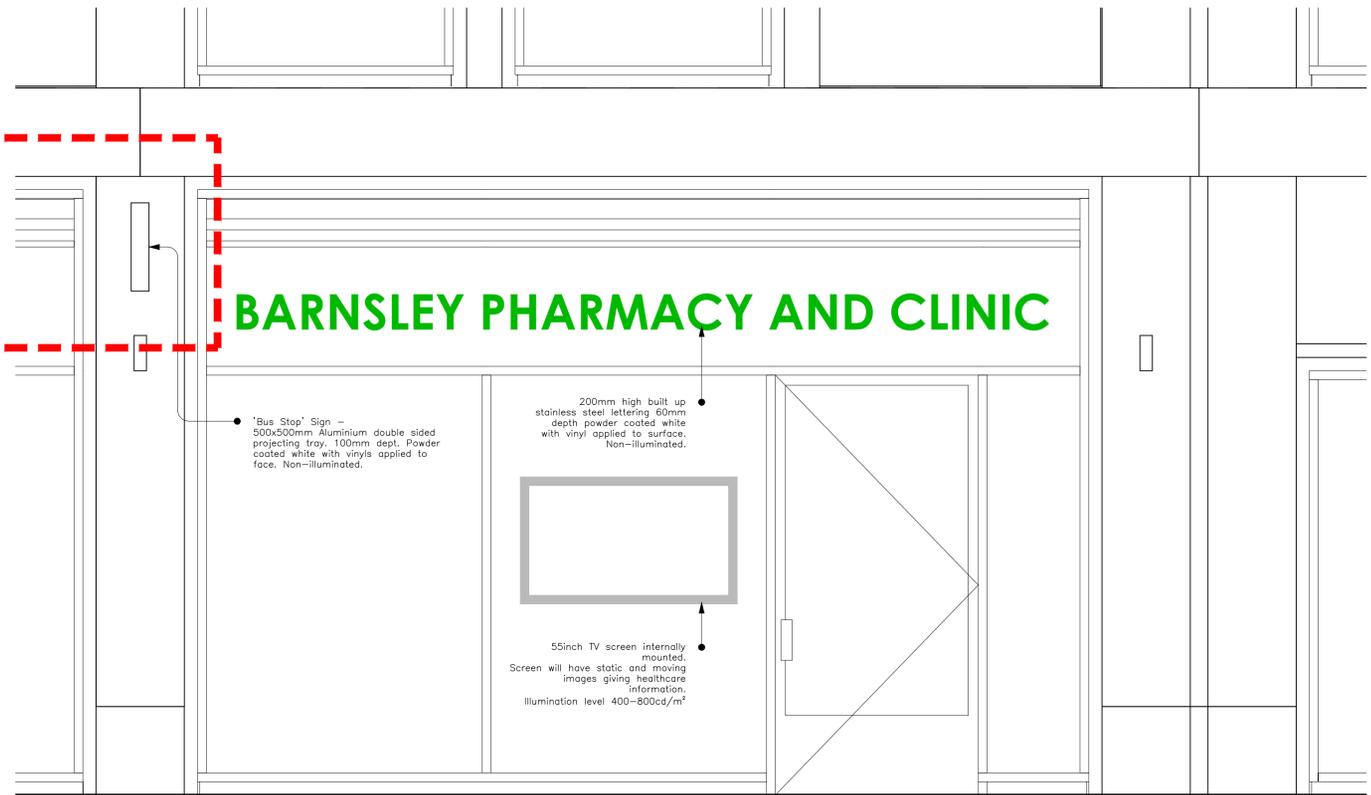
Any new light switches and sockets to be installed between 450 and 1200mm above finished floor level to comply with Part M of the Building Regulations.

The electrical installation should satisfy the requirement of Part P (Electrical Safety) and must be designed, installed, inspected and tested by a person competent to do so.



### PROPOSED 'BUS STOP' SIGN

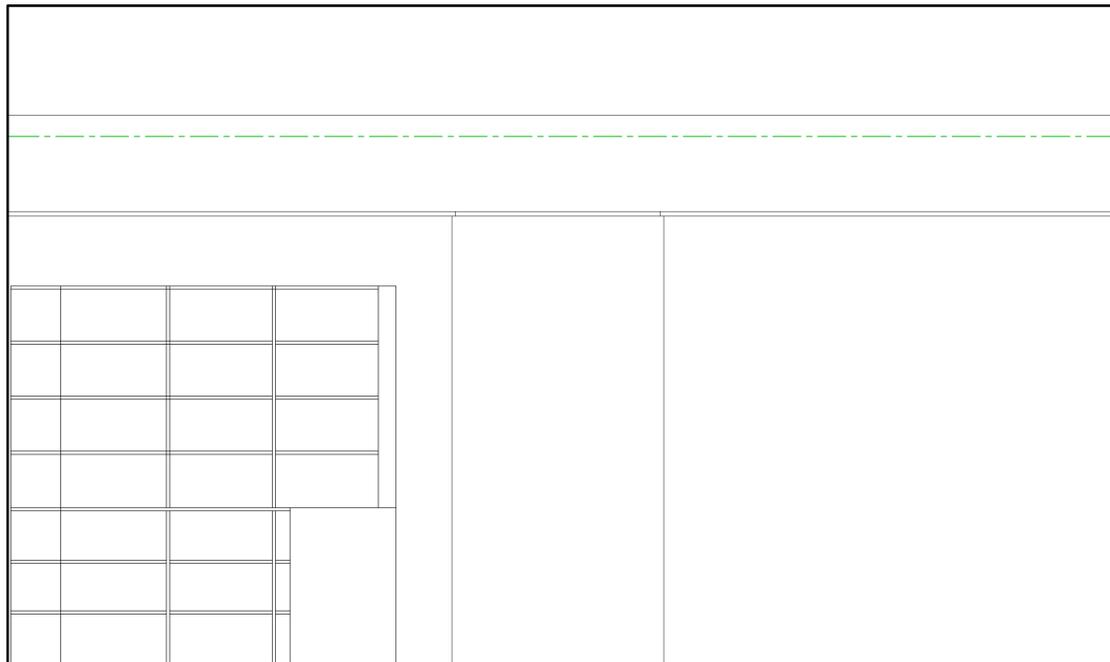
Scale 1:20



### PROPOSED FRONT ELEVATION

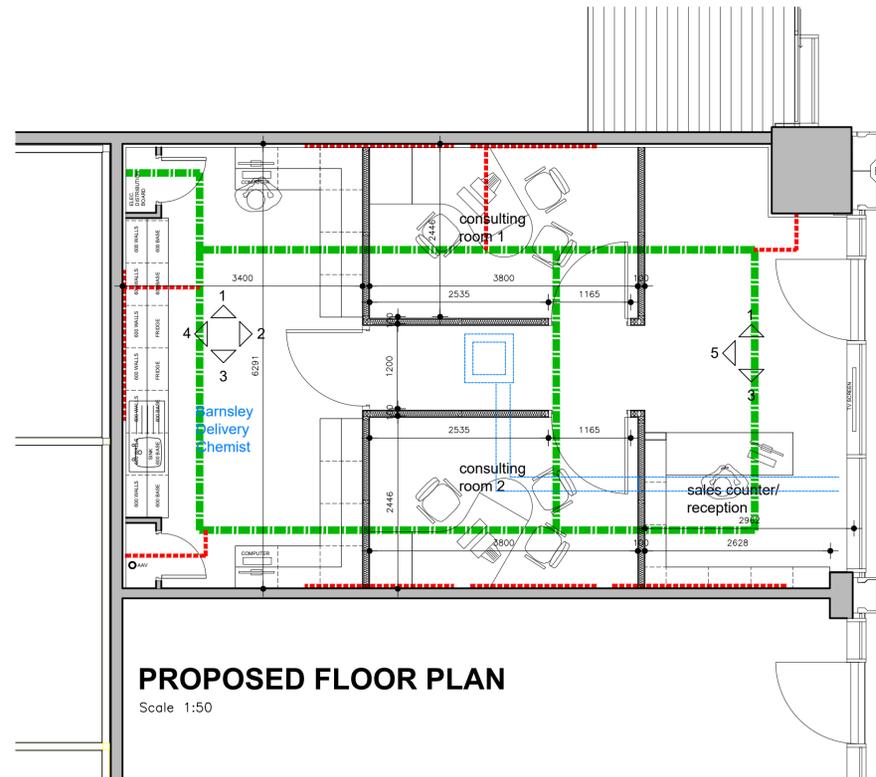
Scale 1:20

- EXISTING AIR CONDITIONING UNIT (TO REMAIN)
- STEEL CONDUIT FOR SOCKETS (TO BE RETAINED AND MODIFIED)
- STEEL CABLE TRAY (APPROX. 3m ABOVE FFL.)



### ELEVATION '5'

Scale 1:20



### PROPOSED FLOOR PLAN

Scale 1:50

## PROPOSED PLANS (1of2) - UNIT K02

PROJECT  
**PHARMACY**  
 AT  
**UNIT K02**  
**THE GLASS WORKS**  
**BARNESLEY**  
 FOR  
**BARNESLEY PHARMACY & CLINIC**

PROJECT NO	DRAWING NO	REVISION
362	01	B

SCALE (A1)	DATE	STATUS	DRAWN
VARIES	NOVEMBER 2024	PRELIM	NT

**7hills** architectural design ltd  
 neil twigg  
 m: 07872985798  
 e: 7hillsarchitecture@gmail.com  
 Queens Tower Lodge  
 77-79 East Bank Road  
 Sheffield  
 S2 3PX