



GREEN MOOR ROAD

Hazledene

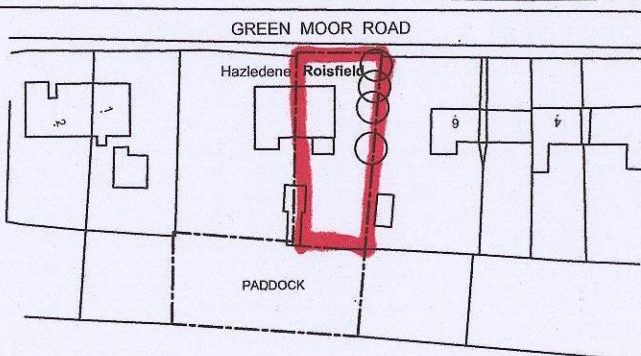
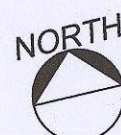
Roisfield

T1. Approx. location
of silver birch tree
to be removed

Approx location existing
adjoining Garage

Paddock

SITE LAYOUT PLAN sc 1:200 @ A1



SITE LOCATION PLAN SCALE 1:1250@A1

PLANNING NOTES:

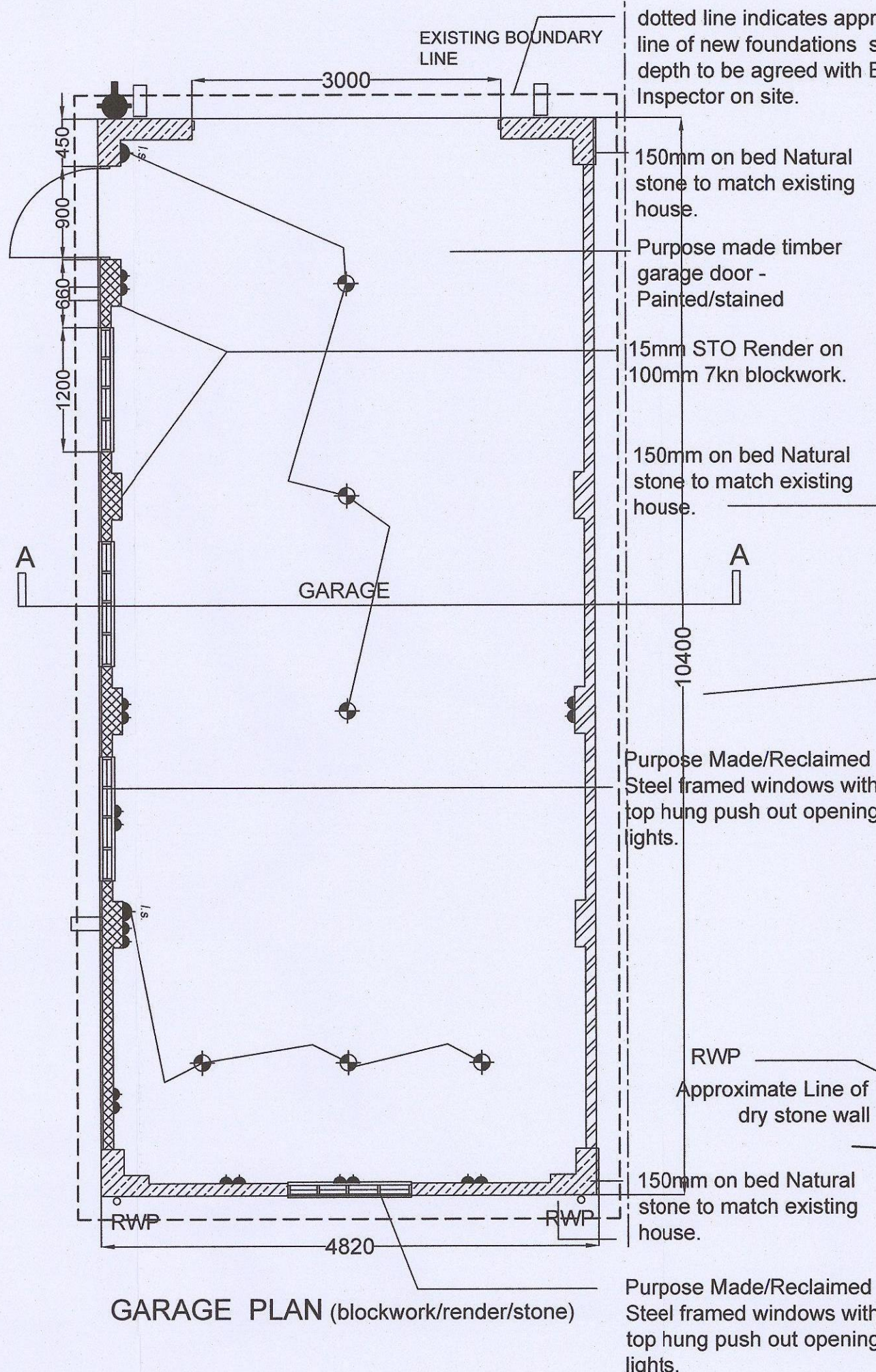
Any works carried out prior to Planning Permission being granted will be entirely at the Clients own Risk, no work should be commenced until the approval has been obtained in writing.

All work is to be carried out in accordance with the current Building Regulations, this will be subject to a further application to Building Control.

No work is to be started on site until Building Regulations has been obtained in writing and any works carried prior to this will be entirely at the clients own risk.

The following materials if requested are to be submitted and approved by the Planners in writing prior to work commencing on site:

1: Sample of the proposed Stonework - Facing Brick - Render and Roof Tiles to be used



Natural Blue/Black reclaimed Slates
on Wilson's of Chesterfield or equal
approved roof truss design
to be agreed with client.(shown Indicative)
Roof to be fully insulated with Friction
Fitted Kingspan Insulation

Black Marley or equal
approved Upvc gutters and down
pipes taken to soakaway.

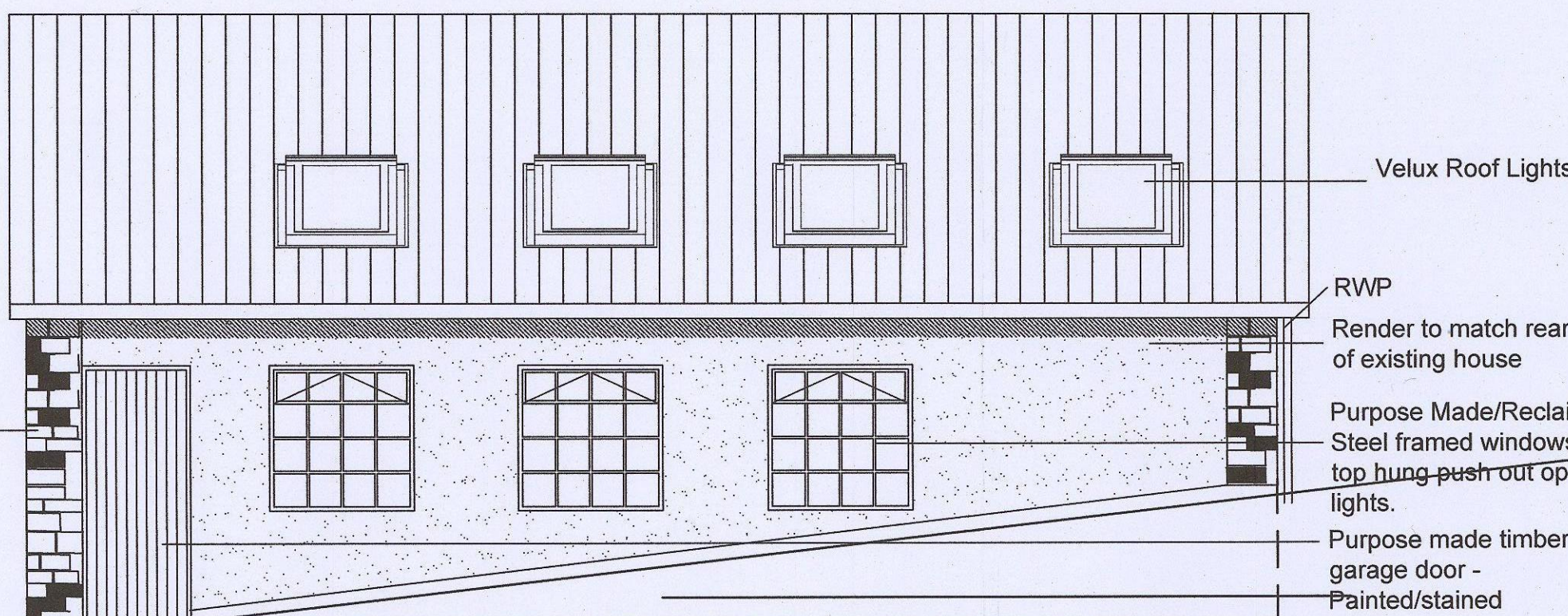
150mm on base Natural stone to
match existing house.

Purpose made/ Reclaimed steel
window frames as indicated.

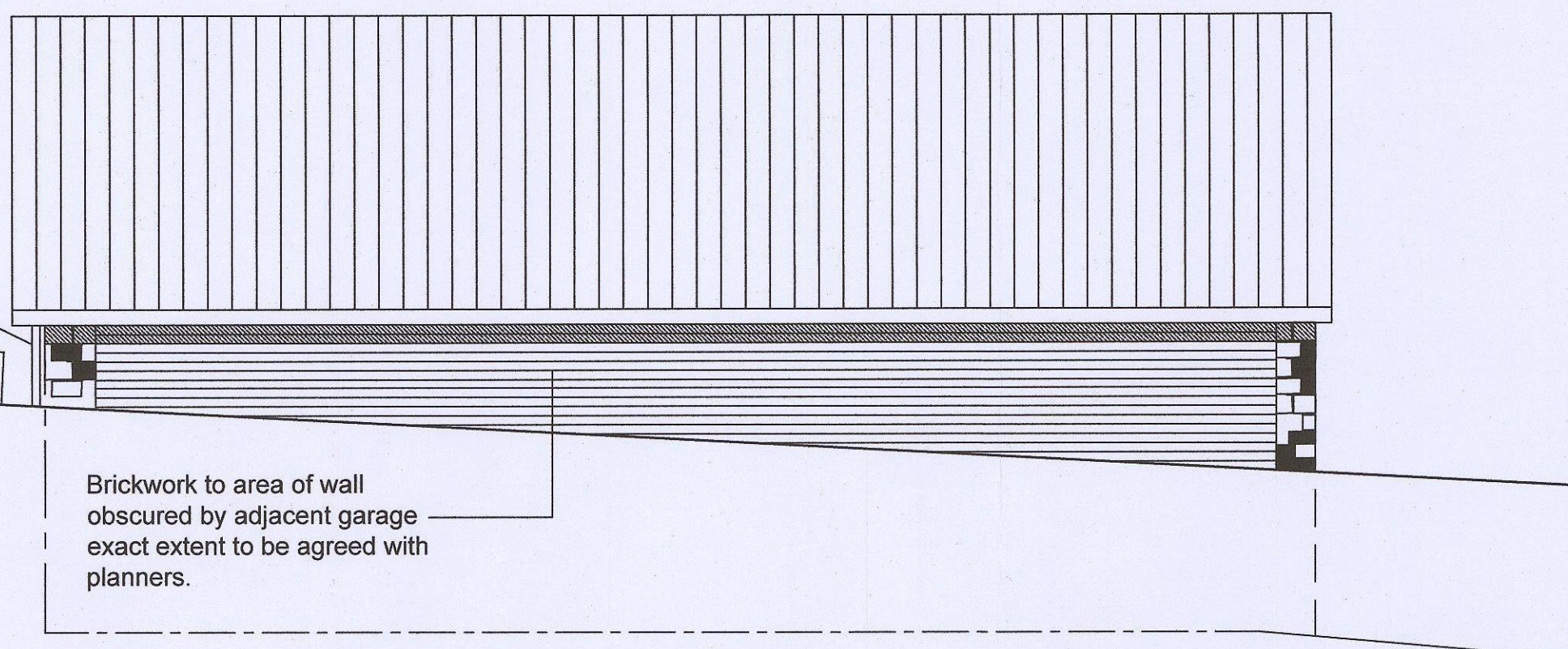
15mm STO Render on 100mm 7kn
blockwork.

150mm concrete slab on 80mm
insulation on dpm on 50mm sand
blinding on 150mm MOT Type 1
hardcore.

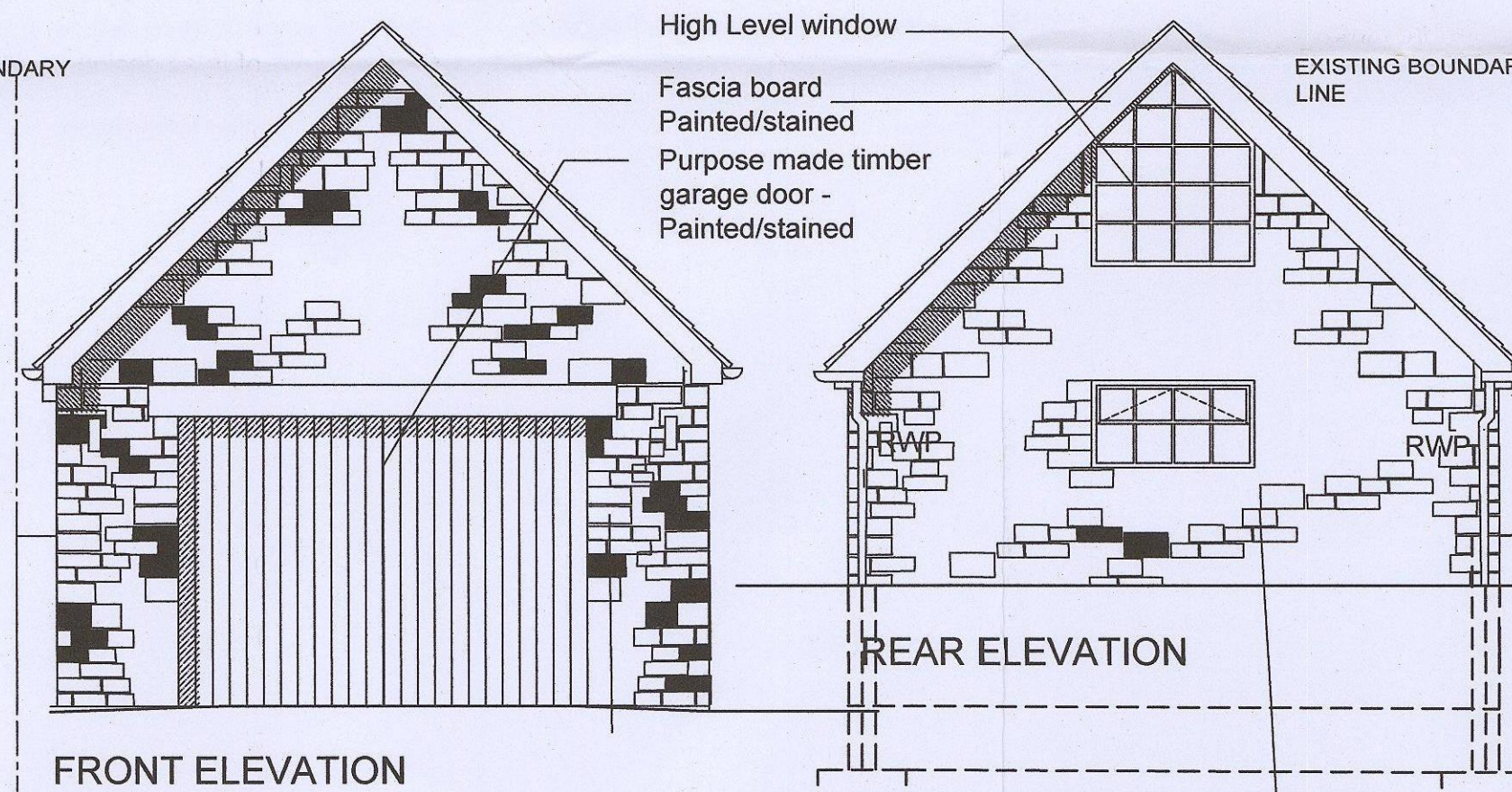
SECTION B - B



SIDE ELEVATION TO GARDEN (stone returns render infill)



SIDE ELEVATION NEIGHBORS GARDEN (stone returns brickwork infill)



FRONT ELEVATION

REAR ELEVATION

150mm on base Natural stone to
match existing house.

dotted line indicates approximate
line of new foundations size and
depth to be agreed with Building
Inspector on site.

Foundations:
600x450mm deep concrete foundations - c20p
Concrete.
Cover to foundations to be a minimum of
450mm, 1000mm on shrinkable clay, but to be
agreed with Building Control Officer on site.
If ground ground conditions warrant it a sulphate
resisting cement (mix to comply with BS5328
1997) New foundations near trees/hedges old
foundations or drains are to be in accordance
with NHBC guide lines.

Ground Floor Slab:
100mm thick concrete floor slab, polythene sheet
not less than 500 gauge laid on Celotex FR5000
board 75mm thick insulation including purpose
cut strips of 20mm thick insulation vertically at
edge of slab to prevent cold bridging. (all in
accordance with manufacturers instructions) Laid
on a Visqueen or equal approved 1200 gauge
dpm on 50mm sand blinding on 150mm Type 1
well compacted hardcore, the membrane is to be
brought up the surrounding foundation walls to a
suitable height that will allow it to be used as the
dpc or connect to the dpc. Floor to achieve a U
Value of 0.18W/m2K.

External Walls:
External Leaf to be 150mm Natural Stone
approved by Barnsley Council Planning
Department if required and where indicated
100mm leaf of Celcon Solar blocks fairfaced
and 100mm facing brick.

Under Ground Drainage:
To be 110mm diameter PVC underground pipe
work laid to a minimum fall of 1:80mm and a
maximum of 1:40 in 150mm granular bed and
surround in accordance with BS 882 or 4660
1989 and in general to the good practice of BS
8301.

Drains to have a min. of 600mm cover and where
passing through walls Naylor concrete lintels
having a maximum bearing of 150mm to be fixed
over drain and to allow a gap of 75mm for
movement all round. Opening to be masked all
round both sides with rodent proof material and
void to be filled with compressible sealant to
prevent entry of gas.
Inspection chambers if required to be uPVC -
450mm diameter up to 1200mm deep with a
maximum cover diameter of 430mm in garden
areas.
Drains with in 1.0 mtr of any building foundations
are to be encased in 150mm concrete bed and
surround up to the level of the underside of the
foundations.

Surface water is to discharge via 100mm gutters
into 53mm rainwater pipes into trapped gullies
and into a separate surface water system.
The foul and surface water system are to be
separate and are to connect into existing
individual systems on site - on visiting site there
were no visible signs of drainage routes it
appears that these could be covered by the
external hard/soft landscaping - contractor is to
allow for on site investigation to determine
location.
Main Contractor is to determine location of
existing internal drainage.

Lintels:
Naylor RS / Catnic or equal approved (unless
specified elsewhere on the Structural
Engineers drawing) Concrete/Steel Lintel with
and a minimum of 150mm end bearing.

Safety Glass:
Glazing which is wholly or partially within
800mm of the floor level shall be:
Minimum Class C to BS 6206 and marked
according to BS 6206.

Electrical Installation and Lighting:
All to be undertaken by a suitably qualified and
competent Electrical Engineer, to include all testing
and certification to comply with Building Regulations
Part P and to current NICEIC Regulations.
All switches power points etc. to be fixed between
450and 1200mm above finished floor level.

WS.
Location of External water tap.

BOUNDARY WALL:
The new garage wall is to be set out by
the Main Contractor and the Client with
the owner of the adjoining property and
agreed in writing by both parties. Neither
the foundations or the gutter is to project
over the established Boundary, this being
the outside face of the existing dry stone
wall. The gutter is to return along the fascia
board on to ROISFIELD land and
is to discharge in to newly constructed
soakaways.

ELECTRICAL KEY

- light switch
- 2 way light switch
- 2x13amp switched socket outlet.
- telephone Point
- pendant light point
- down lighter
- t.v. point
- 2x13amp external switched socket outlet.
- pop-up socket outlets.
- Internet point
- Extract Fan
- Switched Spur
- Shaver Socket
- Pull Cord Light Switch.
- External weather proof light fitting
To have proximity sensor and a dawn to
dusk automatic on off facility. With manual
over ride.

The location of the electrical fittings is indicative
and is for tendering purposes only. The exact
location of all fittings are to be agreed on site
with the client.

Do not scale from this drawing
The Contractor is to check all dimensions
on site and report discrepancies to the Architect
All rights described in Chapter IV of the
Copyright, Designs and Patents Act 1988 have
been generally asserted ©



B	12/07/2016	Drawn: GM	Check: GM
Revised Location of garage moved closer to existing boundary of No 9 Green Moor Road.			
A	10/04/2016	Drawn: GM	Check: GM
Planning Issue			

g.s.marsh
architectural services
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cutthorpe,
chesterfield s41 9rp.
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email: elgarpear@aol.com

drawn gsm	check gsm
PROJECT Proposed New Garage at Roisfield Green Moor Road For Tim Dickinson	
DRAWING Planning/Building Regulations	
scale 1:50 - and as indicated@A1	date 10/04/2016
ref TD-01	number 06
rev B	