

2025/0918

Mr Neil Olden

2 The Nook, Hoylandswaine, S36 7JW

Erection of a front extension to incorporate a replacement porch and integral garage including the infilling of the existing car port at the side.

Site Description

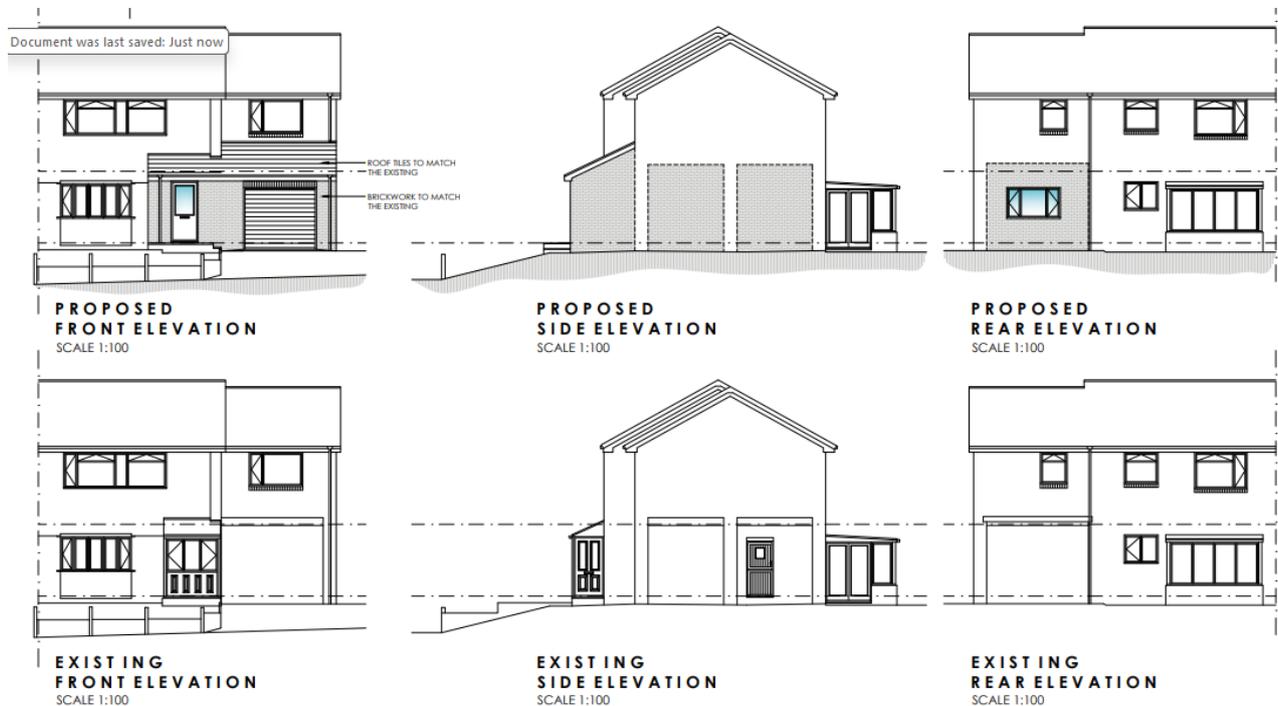
The application site is a corner plot on The Nook. It is a semi-detached dwelling built in a brown brick with a tiled pitched roof. The first floor of the front elevation is tiled in a brown tile and there is some stone detailing below the bay window at ground floor. There is an existing UPVC porch to the front and two storey extension to the side which has a room at first floor level with a car port beneath. To the front is a small garden area with paving slabs placed to create a parking space. The property is bound by wooden fencing to the side and rear.

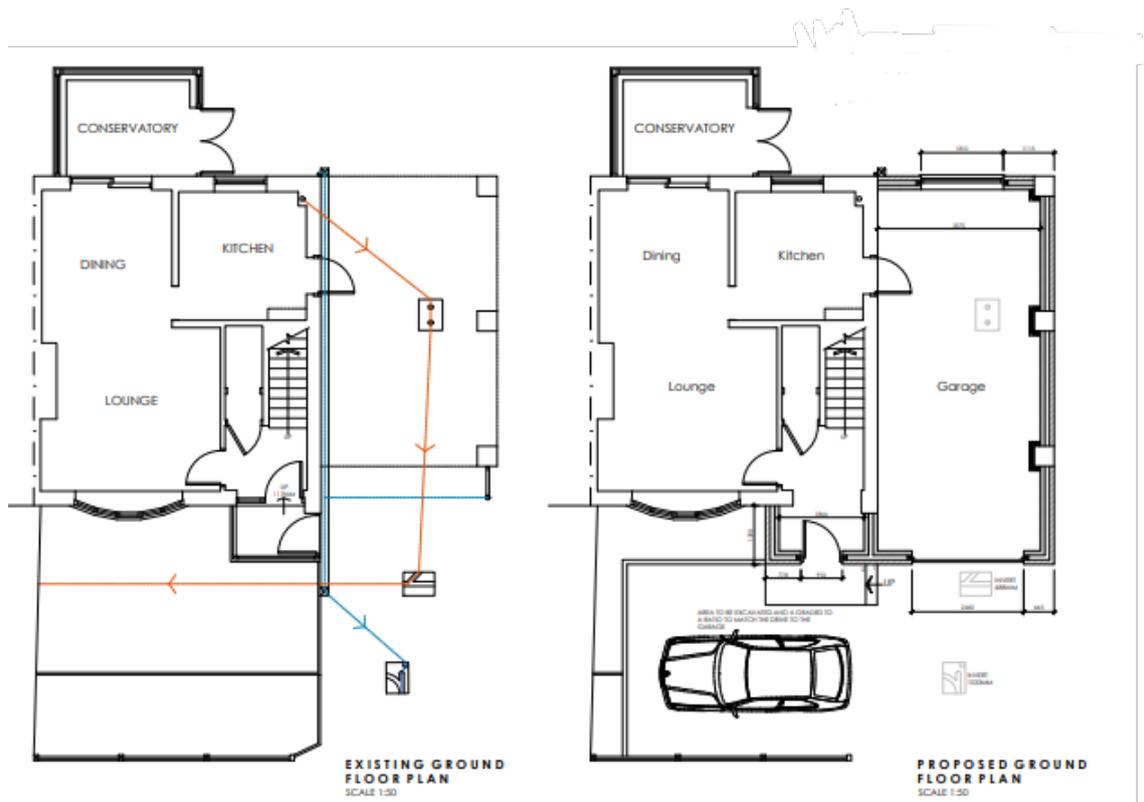
Planning History

2006/1039 – Erection of a two storey side extension incorporating a car port – Approved 2006.

Proposed Development

The applicant is seeking permission for the erection of a porch extension at the front of the dwelling and infilling of the existing car port to create an integral garage. The existing and proposed plans are shown below:





Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. The site lies just outside the Hoylandswaine Conservation Area.

To the extent that development plan policies are material to an application for planning permission the decision on the application must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004). In reference to this application, the following policies are relevant:

Policy SD1: Presumption in favour of Sustainable Development – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy GD1: General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land.

Policy D1: High quality design and place making – Development is expected to be of a high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

Supplementary Planning Documents:

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019.

The most pertinent SPD's in this case are:

- House Extensions and Other Domestic Alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- Section 12: Achieving well designed places

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Consultee	Summary of Comments
Highways DC	No objection subject to condition
Conservation Officer	No objection
Penistone Town Council	No comments received.

Representations

Neighbour notification letters were sent to surrounding properties and no comments were received.

Assessment

The main issues for consideration are as follows:

- The principle of the development
- The impact on the visual amenity/character of the area
- The impact on neighbouring residential properties
- The impact on highways safety

For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale unless the NPPF states otherwise:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

The application site is located within a residential area in Hoylandswaine and is allocated as Urban Fabric, which has no specific land allocation. The immediate surrounding area features predominantly residential properties. The proposed development is to erect a replacement porch to the front of the property which will tie into the infilling of the existing car port at the side.

Extensions and alterations to domestic properties are acceptable in principle subject to compliance with other local and national policy. This weights significantly in favour of the proposal.

Impact upon Visual Amenity and Character of the Area

The proposed development will not result in any significant harm to the visual amenity or the character of the area. The scale of the proposal will appear proportionate to the existing property, particularly as the car port is to be infilled. At ground floor level, the garage will project forward to integrate with the proposed porch, creating a cohesive appearance across the principle elevation.

The site lies just outside a conservation area and the Conservation Officer does not consider the proposal will have any impact on the Hoylandswaine Conservation Area. There are examples of similar extensions and alterations within the street scene and wider estate. The proposed roof form, window proportions, and external materials will match those of the existing dwelling, ensuring the development sits comfortably within its context and does not adversely affect the visual amenity of the street scene.

The proposal is therefore acceptable in terms of visual amenity and impact upon the street scene in accordance with Policy GD1: General Development and D1 . This weighs significantly in favour of the proposal.

Residential Amenity

The proposal will not result in any significant impact on residential amenity. The additional built form is primarily positioned to the front of the dwelling and is modest in scale, meaning it is unlikely to cause harm to neighbouring properties through overshadowing or loss of light.

Furthermore, any new windows are proposed at ground floor level and will not compromise the privacy of adjacent dwellings or their amenity spaces.

As such, the proposal is considered to respect neighbouring amenity in accordance with Local Plan Policy GD1: General Development. This weighs significantly in favour of the proposal.

Highways

The proposal includes infilling the existing car port to create an integral garage at ground floor level. The garage will meet and exceed the minimum internal dimensions required for it to function as a

suitable parking space. In addition, the submitted floor plan indicates that an area to the front of the property will be excavated to provide an additional off-street parking space.

As the development will retain two appropriately sized parking spaces within the site, there are no objections from a Highways Development Control perspective.

As such, the proposal would be in accordance with the Parking SPD and Policy T4 of the Local Plan. This carries modest weight in favour of the proposal.

Conclusion

Having balanced all material planning considerations, the proposal will not be significantly harmful to residential or visual amenity. As a consequence, the positive aspects of the proposal outlined above are not outweighed by any other material planning considerations. The proposal is therefore, on balance, recommended for approval.

Recommendation

Approve with conditions

Justification

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.