

2024/0742

Mr Ben Wathall

31 Mitchelson Avenue, Dodworth, Barnsley, S75 3JN

Erection of single storey rear detached outbuilding.

Site Description

The application relates to a semi-detached dwelling on Mitchelson Avenue within the Dodworth area. The property is constructed from red brick at single-storey level and pebbledash render at second storey level. The dwelling is constructed from a red tiled pitched roof. The surrounding area is characterised by materials matching the site property although with differing render colours as well as fully rendered properties. The surrounding properties are predominantly semi-detached dwellings and terraced dwellings.



Planning History

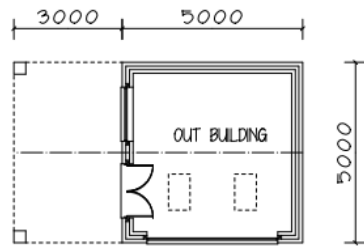
B/76/2249/DO - Formation of vehicular access – Decision Unknown

Proposed development

The applicant is seeking permission for a rear single-storey outbuilding with a pitched roof and rendered.

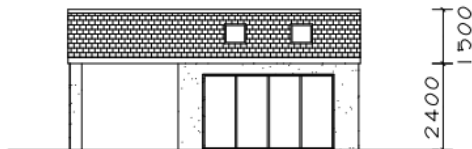
The proposed outbuilding is to be erected to the rear (north) of the property. The structure of the proposed outbuilding will be approximately 5 metres by 8 metres in width. The building itself will be approximately 5 metres by 5 metres with the remaining 3 metres of the 8-metre width being a roofed outdoor area. The approximate ridge height of the outbuilding would be 3.9 metres with approximately 2.4 metres to the eaves. Roof tiles have been proposed to the gable pitched roof along with Ivory coloured render.

An exposed roof truss is detailed to the west roof elevation of the sheltered area of the outbuilding with pillars supporting the north and south corners of the roof. Doors have been detailed to the west elevation of the outbuilding servicing the sheltered area. A UPVC window is also detailed to the upper of the west elevation alongside the patio doors. Bifold doors spanning approximately 3.6 metres are detailed to the south elevation of the outbuilding facing the host dwelling.



GROUND FLOOR

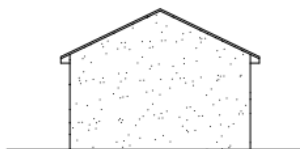
ROOF - concrete tiles
WALLS - rendered ivory



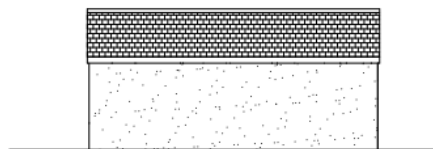
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

Mr B WATHALL

PROPOSED OUT BUILDING
31 MITCHELSON AVE.
DODWORTH
BARNSGLEY S75 3JN

PLAN & ELEVATIONS

1:100@A3 AUG 24 Rev A

Peter Thompson

"Linwood"
Barnsley Road

Dodworth

Barnsley S75 3JR

e-mail peter-thompson@hotmail.co.uk

01226 201391

m. 07973251730



M.C.I.A.T.

Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- **Policy SD1: Presumption in favour of Sustainable Development.**
- **Policy D1: High Quality Design and Place Making.**
- **Policy GD1: General Development.**
- **Policy T4: New Development and Transport Safety.**

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety

Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed outbuilding would be erected to the northwest of 33 Mitchelson Avenue. Overlooking will be at a minimum with no windows detailed to the east elevation and existing boundary treatment to the rear of the boundary screening the proposal. Existing boundary treatment will also screen the proposal to the west of the development and will prevent any overlooking from the proposed glazing on the west elevation. The rear boundary provides screening. Site analysis has provided evidence of an outbuilding at the rear of 46 Hawthorne Crescent proving further screening and preventing any overlooking opportunities.

There is a slight opportunity for overlooking from the south elevation glazing; however, this would be no more detrimental than the existing overlooking ability.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling,

The House Extensions and Other Domestic Alterations SPD states that Detached garages and outbuildings should relate sympathetically to the main dwelling in style, proportions and external finishes. In most cases, it will not be appropriate for a garage to be sited between the house and the road. Detached garages and outbuildings should be single storey structures and the eaves height should not normally exceed 2.5 metres from ground level, whilst the ridge height should not exceed 4 metres.

The outbuilding is below the maximum 2.5 metre eaves height and is below the maximum 4 metre ridge height. The proposal details bifold windows centrally to the elevation of the outbuilding along with symmetrical Velux windows facing the property. Although not an exact match to the property, Ivory render has been proposed which matches the surrounding area.

The proposal style, proportions and external finishes, although aren't exact, predominantly match the main dwelling.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The proposal would not result in the loss of any parking facility or require the addition of any parking facility. As such highways is not impacted.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Recommendation
Approve with Conditions