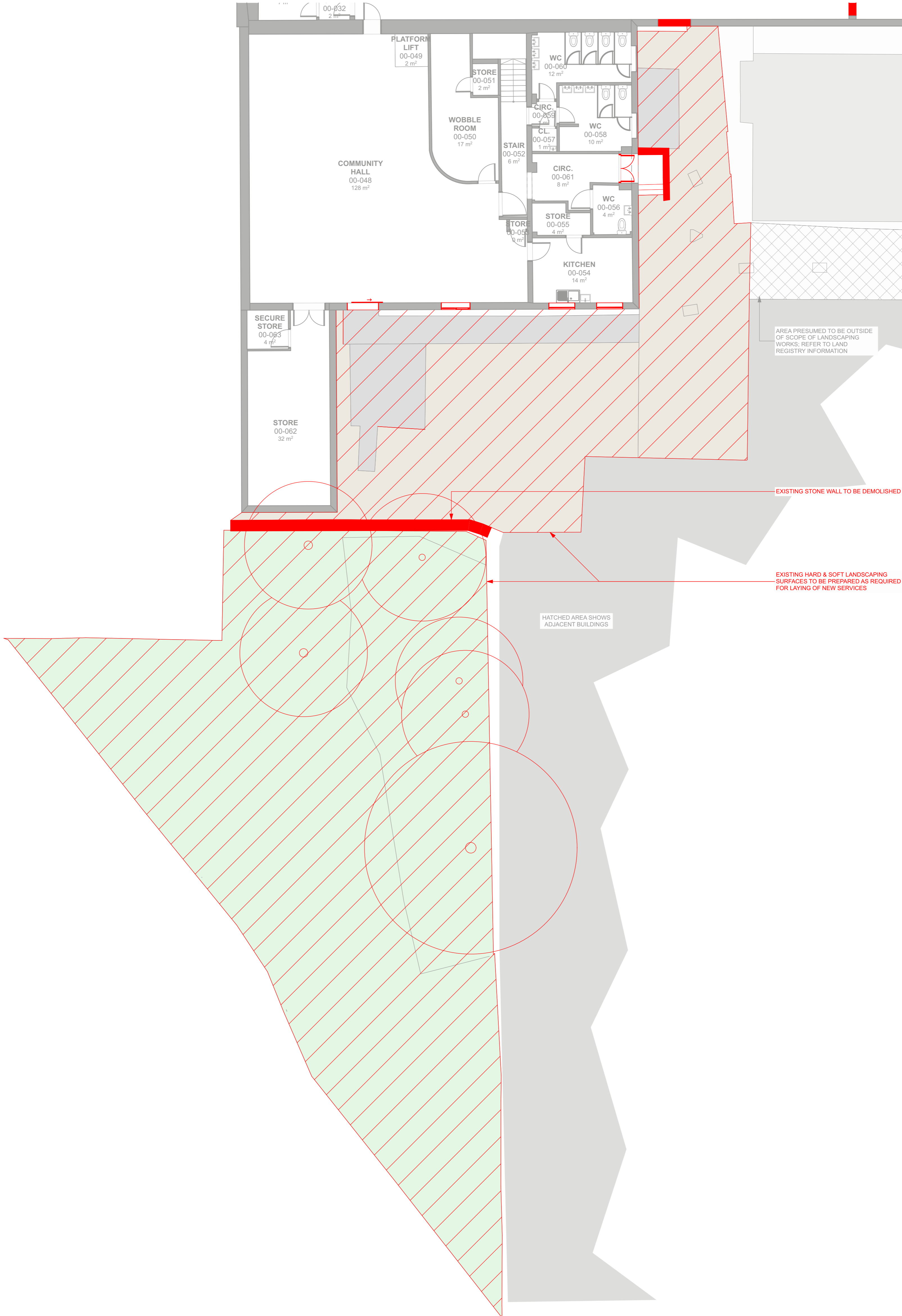
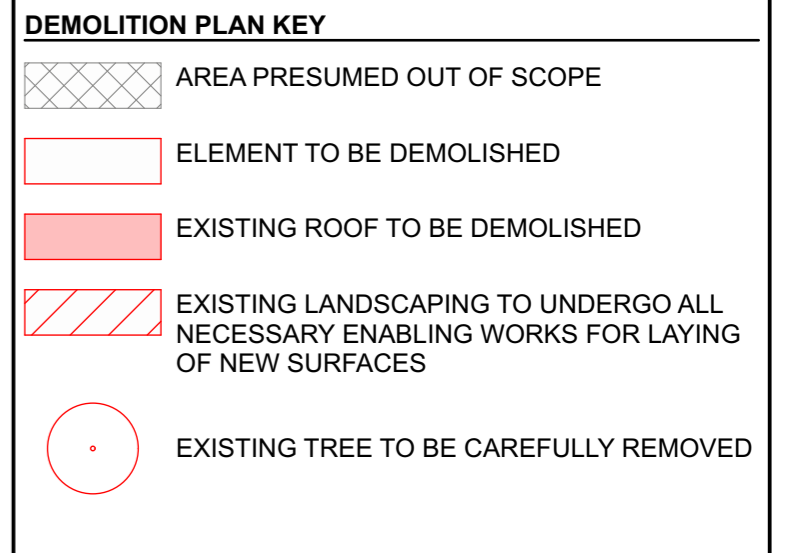
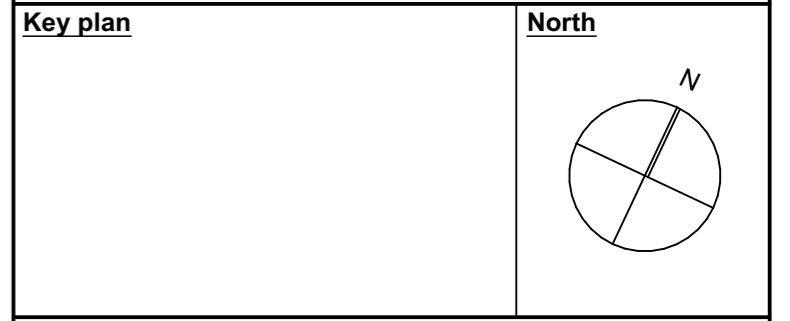


FOR GROUND FLOOR, PLEASE REFER TO:
BALU-BBA-YM-00-DR-A-2101-GROUND FLOOR DEMOLITION PLAN



This document is © Bond Bryan Architects Ltd.
If in doubt ASK. Drawing measurements shall not be obtained by scaling. Verify all dimensions prior to construction.
Immediately report any discrepancies on this document to the Originator. This document shall be read in conjunction with associated models, specifications and related consultants' documents.



NOTES: DEMOLITION PLANS

- RETAIL UNITS TO THE NORTH-WEST GROUND FLOOR ARE ASSUMED TO BE OUTSIDE OF THE SCOPE OF THIS PROJECT
- LANDSCAPE ELEMENTS SHOWN ON DEMOLITION PLANS SUBJECT TO FURTHER REVIEW BY TREE PROTECTION OFFICER & ARBORICULTURALIST/ LANDSCAPE ARCHITECT REVIEW
- GROUND LEVELS ALONG SOUTH-WEST FAÇADE IN ABEYANCE; AREAS OUTSIDE THE SITE BOUNDARY AND MOSTLY UNACCESSIBLE AND WERE NOT POSSIBLE TO INCLUDE IN MEASURED SURVEY INFORMATION
- EXISTING BRICK WALL BALUSTRADE TO THE MAIN EAST ENTRANCE TO BE CAREFULLY TAKEN DOWN TO RAMP/STAIR LEVEL, READY FOR NEW COPING STONES TREATMENT AND PROPOSED BALUSTRADE
- ROOF TILES TO STORAGE AREA ADJACENT TO COMMUNITY HALL TO BE CAREFULLY REMOVED AND SET ASIDE FOR STORAGE AND RE-USE; CONTRACTOR TO ASSESS CONDITION AND SUITABILITY FOR RE-USE; ANY PROPOSALS FOR REPLACEMENT OF BROKEN/ UNSUITABLE TILES TO BE REVIEWED WITH BOND BRYAN
- A DETAILED ASSESSMENT OF THE EXISTING WINDOWS IS TO BE UNDERTAKEN AT RIBA STAGE 3; FOR COST REVIEW PURPOSES AT RIBA STAGE 2, ALLOWANCE SHOULD BE MADE TO REPLACE ALL EXISTING WINDOWS WITH TRIPLE-GLAZED UNITS
- DEMOLITION OF RAISED 'STAGE' AREA & EXISTING KITCHEN WALL (INCLUDING VOID AREA) AT FIRST LEVEL SUBJECT TO FURTHER OPENING UP WORKS, STRUCTURAL SURVEY, STRUCTURAL & BUILDING SERVICES CONSULTANTS REVIEWED BEFORE

EXISTING STONE WALL TO BE DEMOLISHED

EXISTING HARD & SOFT LANDSCAPING SURFACES TO BE PREPARED AS REQUIRED FOR LAYING OF NEW SERVICES

HATCHED AREA SHOWS ADJACENT BUILDINGS

AREA PRESUMED TO BE OUTSIDE OF SCOPE OF LANDSCAPING WORKS; REFER TO LAND REGISTRY INFORMATION

P03	Updated for Planning	JW	07/12/2023
P02	Planning Set	JW	05/12/2023
P01	Updated for Cost Review	JW	16/11/2023
01	WIP Issue to Design Team	JW	26/10/2023

Rev	Description	Drawn	Checked	Date
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Barnsley Metropolitan Borough Council

Barnsley Levelling Up Fund
Barnsley YMCA/Chilypep

Car Park Demolition Plan

Originator project ref 23048	Purpose of Issue Design Development
Scale(s) 1:100	Revision description Preliminary
Paper size A1	

project	originator	volume	level	type	role	number	revision
BALU-BBA-YM-CP-DR-A-2101							P03