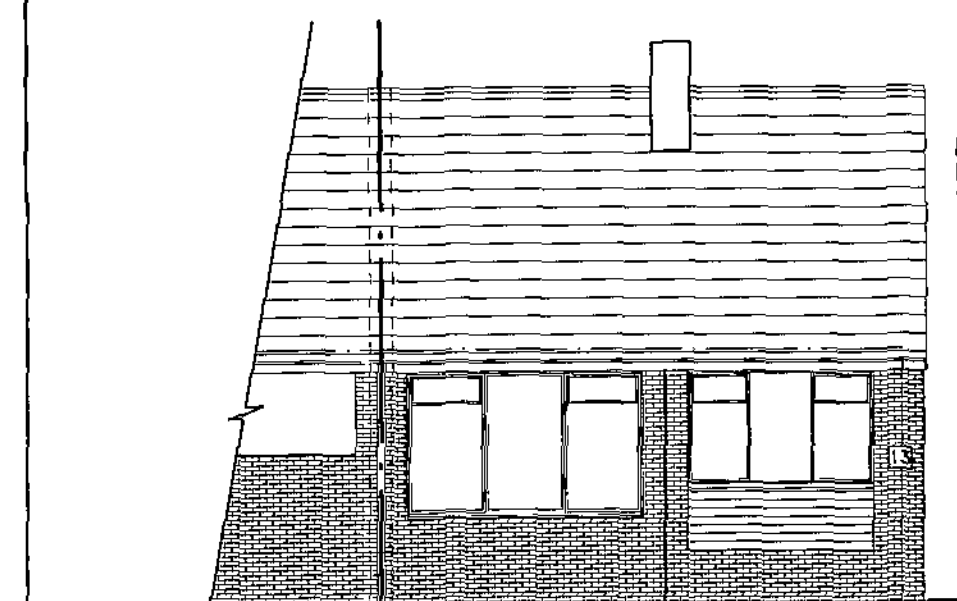
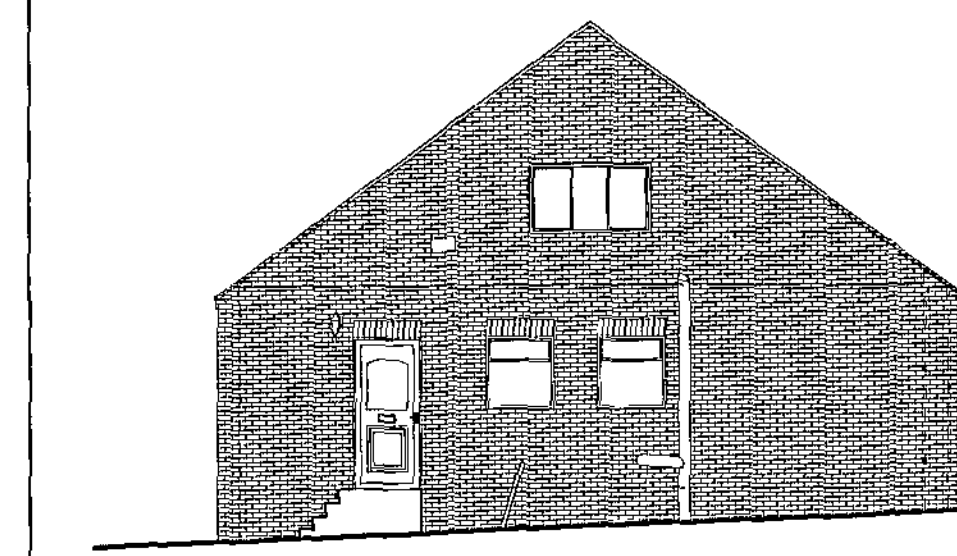


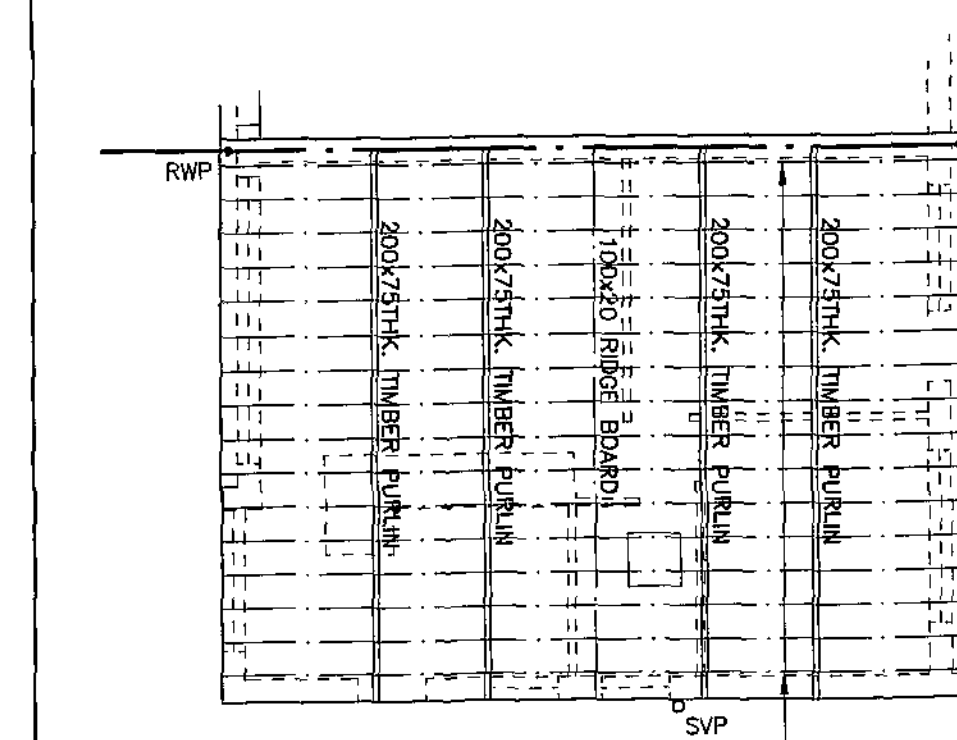
EXISTING REAR ELEVATION 1:100



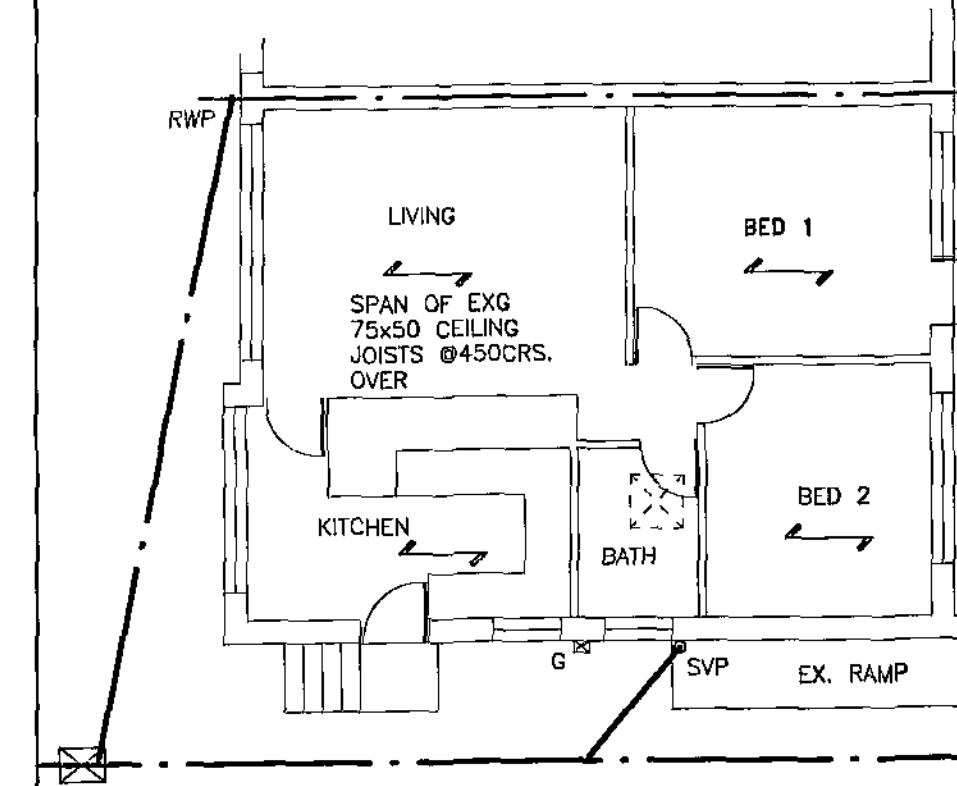
EXISTING FRONT ELEVATION 1:100



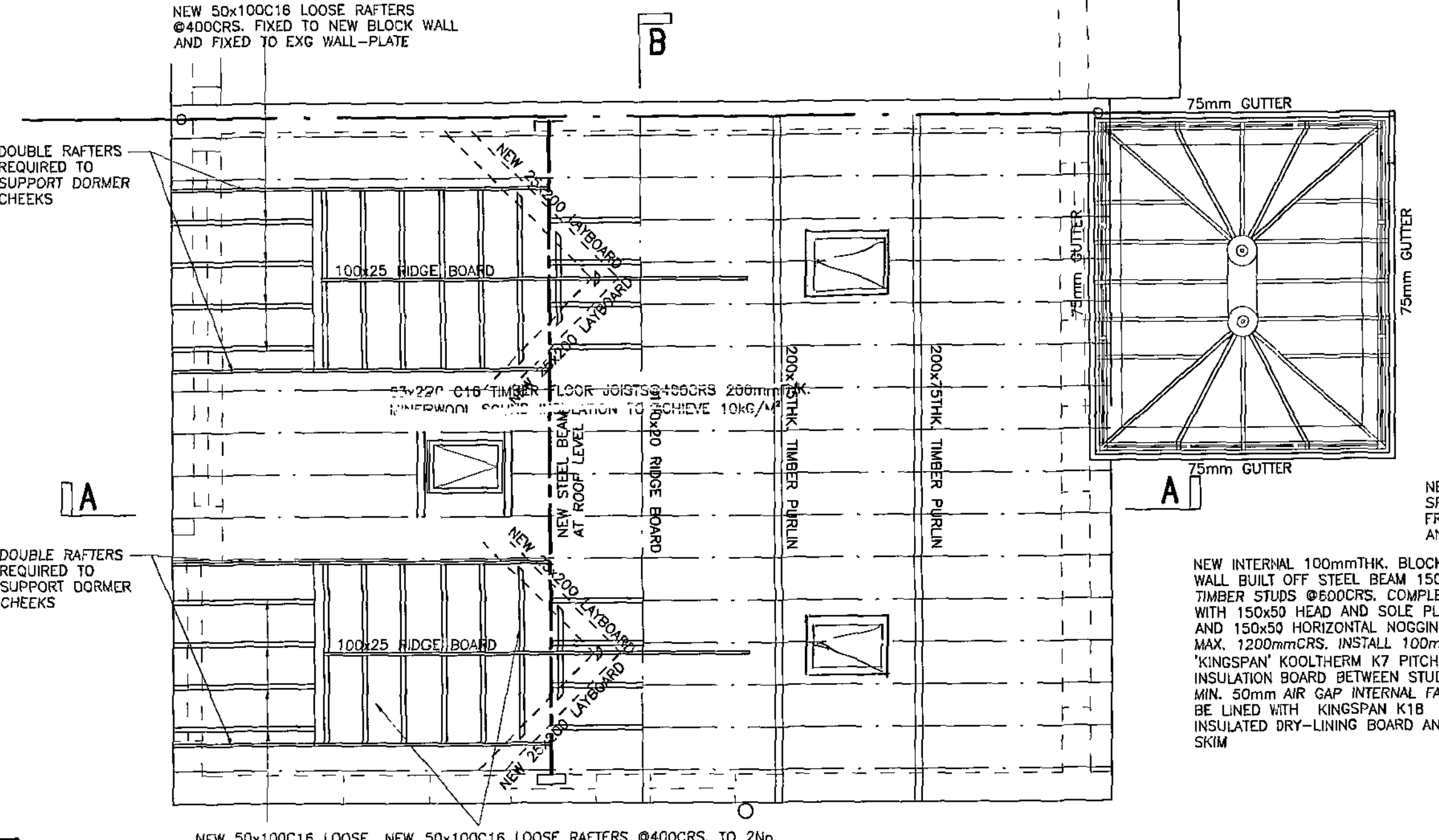
EXISTING SIDE ELEVATION 1:100



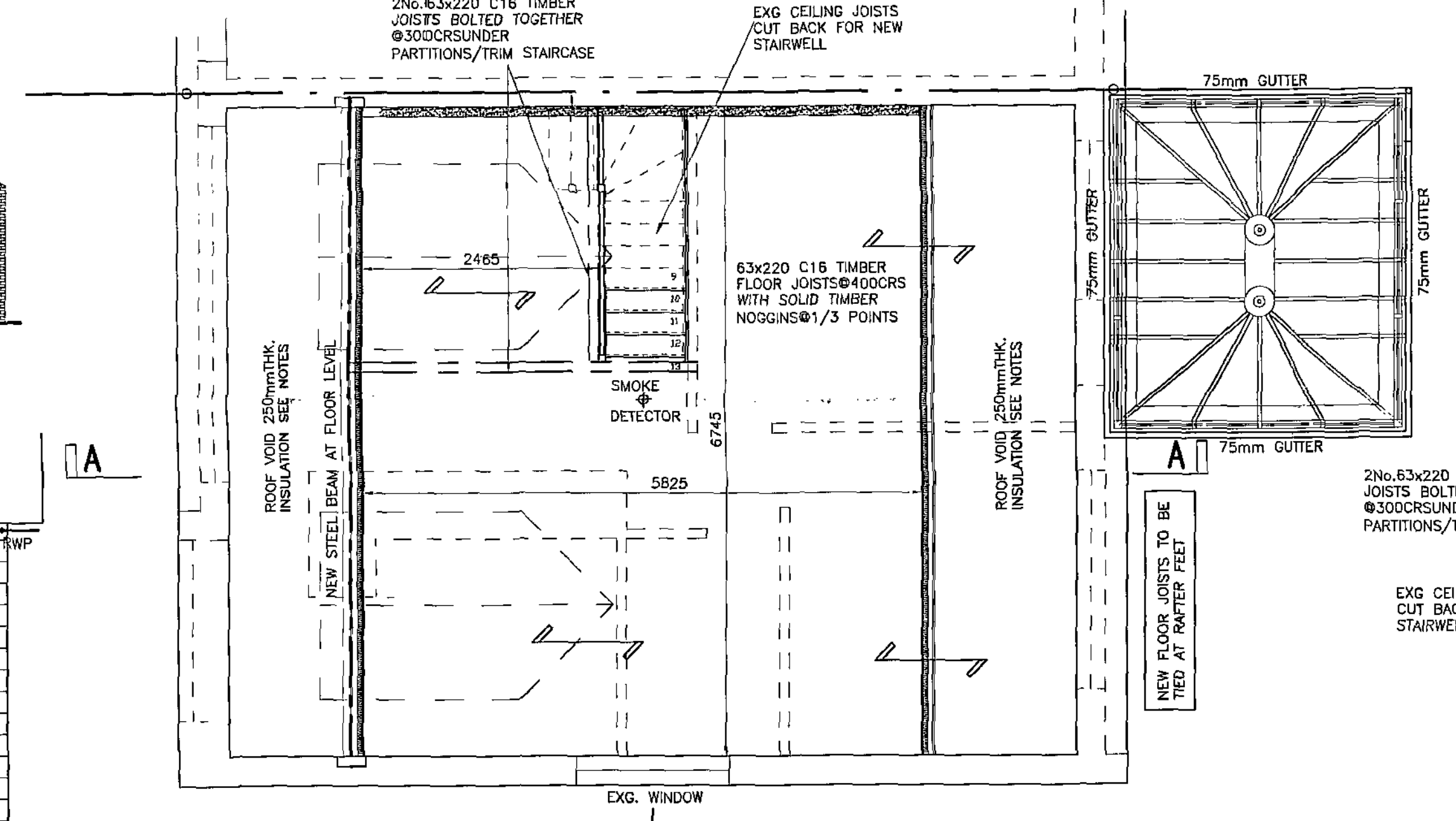
EXISTING ROOF PLAN 1:100



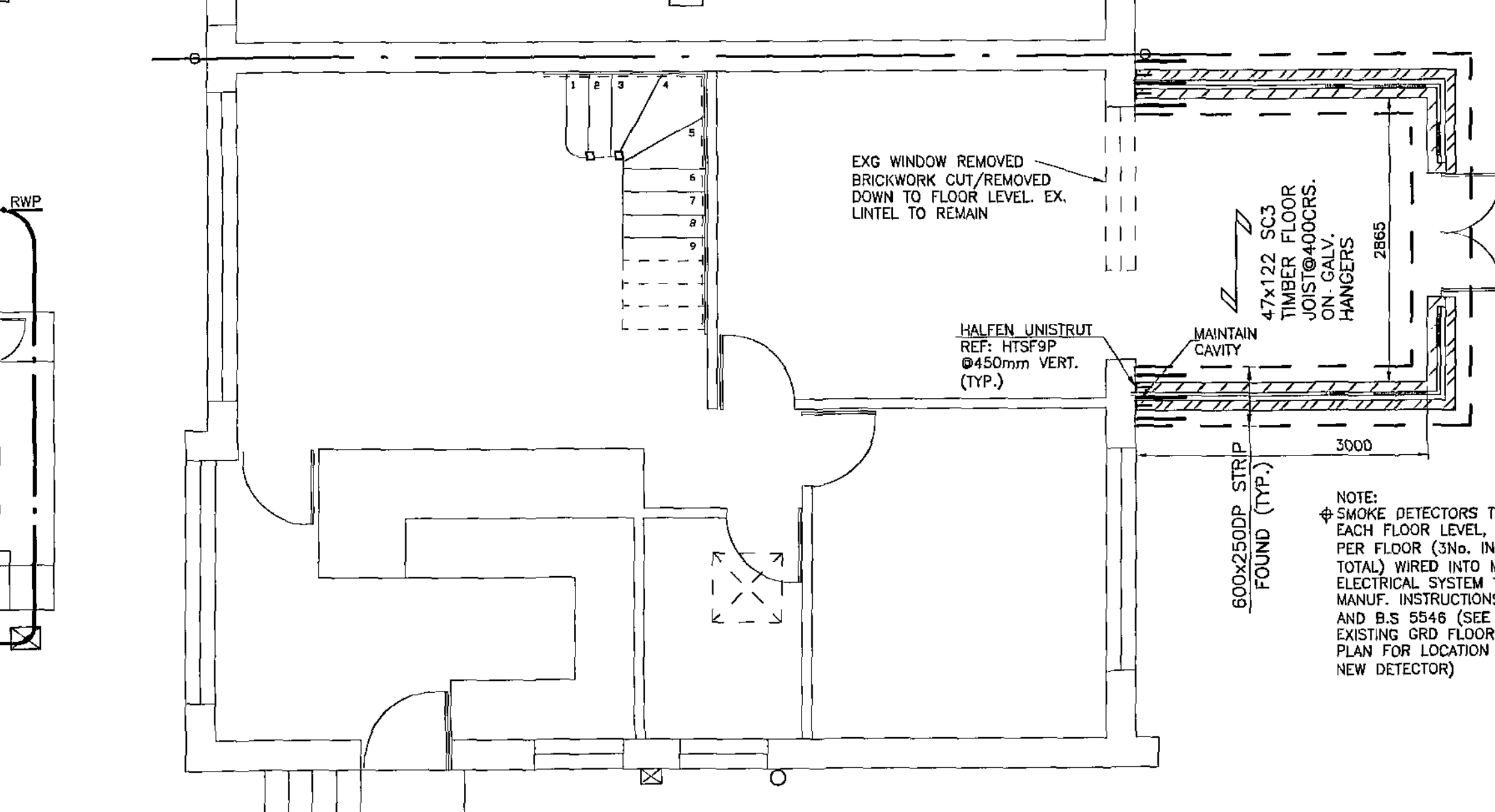
EXISTING GROUND FLOOR PLAN 1:100



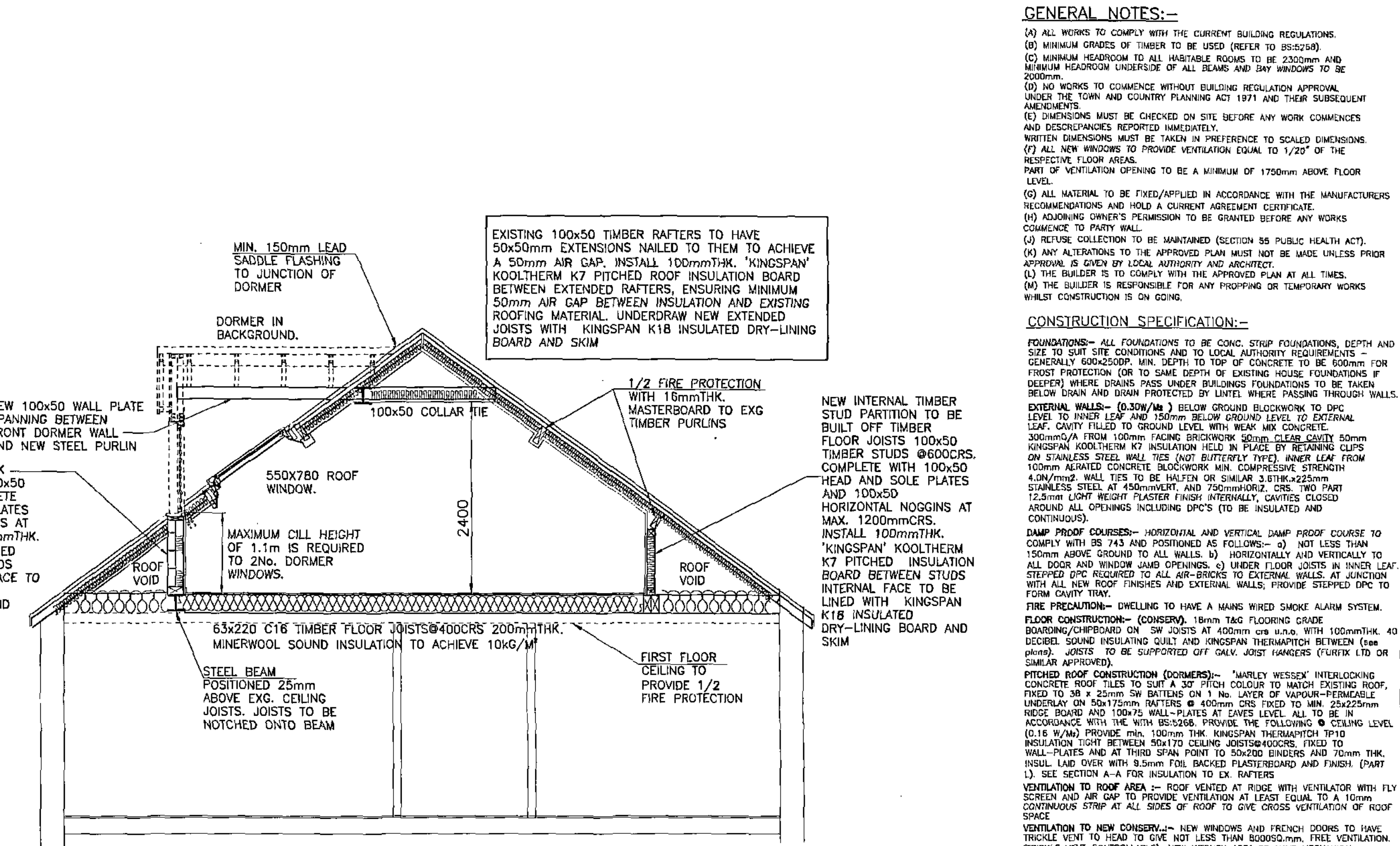
PROPOSED ROOF PLAN 1:50



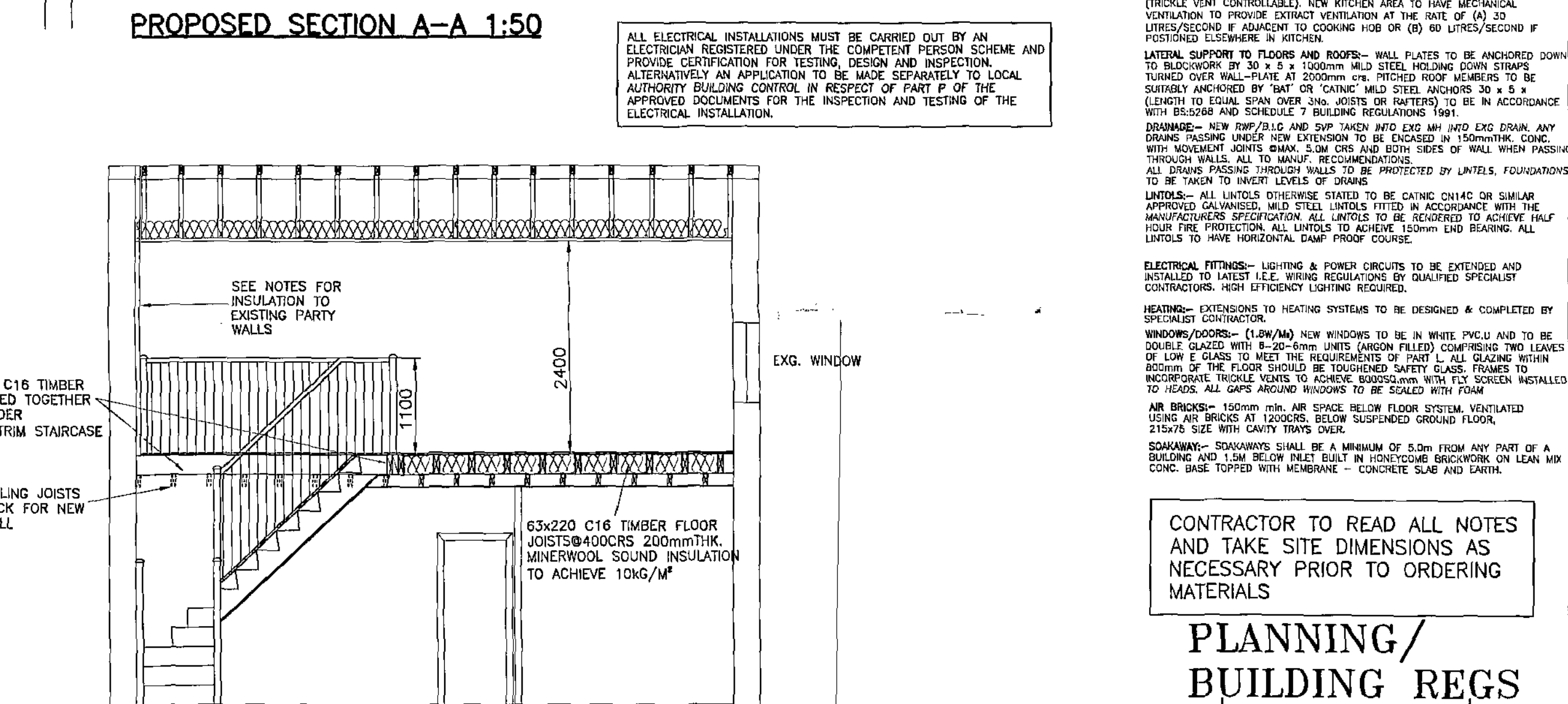
PROPOSED FIRST FLOOR PLAN 1:50



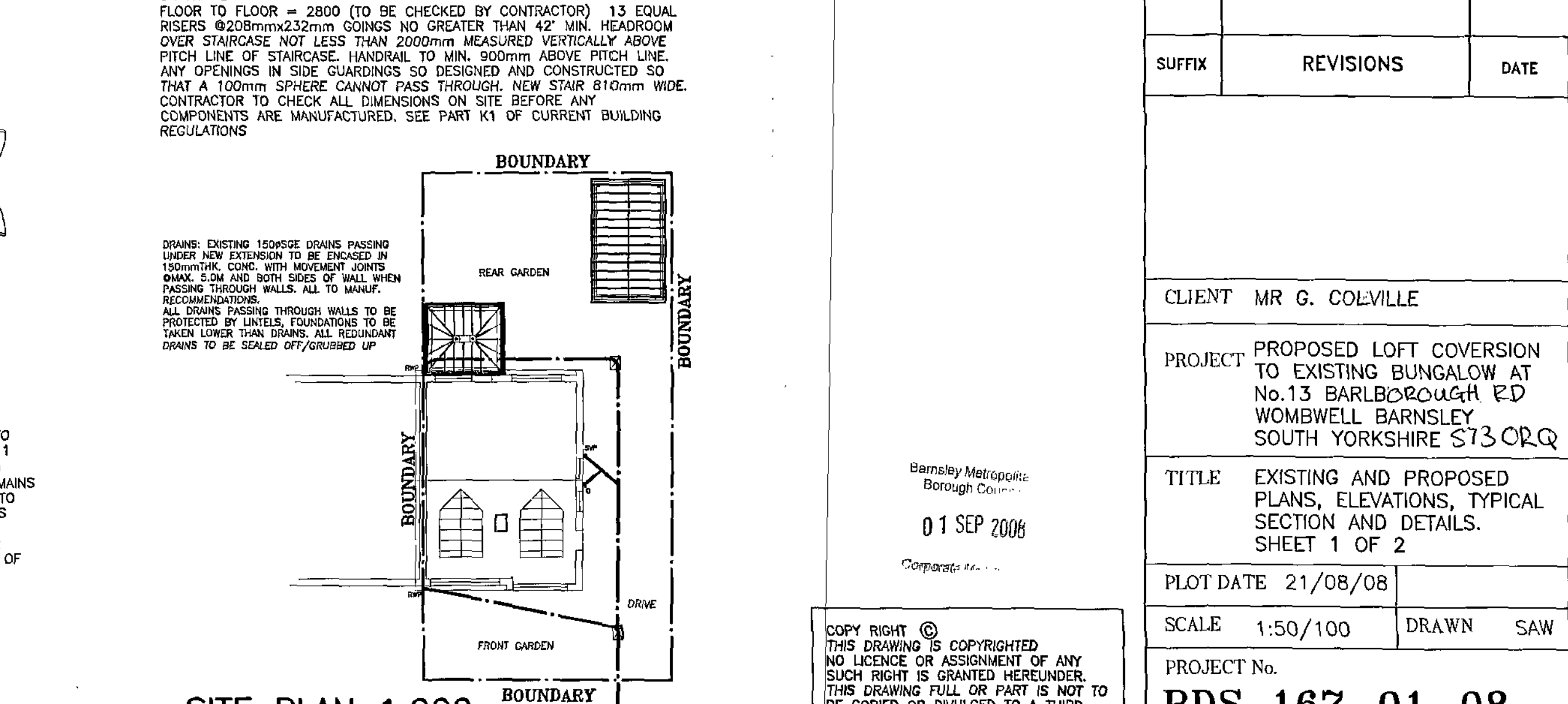
PROPOSED GROUND FLOOR 1:50



PROPOSED SECTION A-A 1:50



PROPOSED SECTION B-B 1:50



SITE PLAN 1:200

**GENERAL NOTES:-**

- ALL WORKS TO COMPLY WITH THE CURRENT BUILDING REGULATIONS.
- MINIMUM GRADES OF TIMBER TO BE USED (REFER TO BS2020).
- MINIMUM HEADROOM TO ALL INTERIOR ROOMS TO BE 2000mm AND MINIMUM HEADROOM UNDERSE OF ALL BEAMS AND BAY WINDOWS TO BE 2000mm.
- NO WORKS TO COMMENCE WITHOUT BUILDING REGULATION APPROVAL UNDER THE TOWN AND COUNTRY PLANNING ACT 1991 AND THEIR SUBSEQUENT AMENDMENTS.
- MEASUREMENTS MUST BE CHECKED ON SITE BEFORE ANY WORK COMMENCES AND DISCREPANCIES REPORTED IMMEDIATELY.
- WITHIN CONCRECTIONS MUST BE TAKEN IN PREFERENCE TO SCALD DIMENSIONS.
- ALL NEW WINDOWS TO PROVIDE VENTILATION EQUAL TO 1/20<sup>th</sup> OF THE RESPECTIVE FLOOR AREA.
- AREA OF VENTILATION OPENING TO BE A MINIMUM OF 1750mm ABOVE FLOOR LEVEL.
- ALL MATERIAL TO BE FIRED/APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND HOLD A CURRENT APPROVAL FROM THE COMPETENT PERSON.
- ADJOINING OWNER'S PERMISSION TO BE GRANTED BEFORE ANY WORKS COMMENCE TO PARTY WALL.
- REUSE COLLECTION TO BE MAINTAINED (SECTION 86 PUBLIC HEALTH ACT).
- ANY ALTERATIONS TO THE APPROVED PLAN MUST NOT BE MADE UNLESS PRIOR APPROVAL IS GIVEN BY LOCAL AUTHORITY AND ARCHITECT.
- THE BUILDER IS TO COMPLY WITH THE APPROVED PLAN AT ALL TIMES.
- THE BUILDER IS RESPONSIBLE FOR ANY PROPRIETARY OR TEMPORARY WORKS WHILE CONSTRUCTION IS IN GOING.

**CONSTRUCTION SPECIFICATION:-**

**FOUNDATIONS:-** ALL FOUNDATIONS TO BE CONG. STEP FOUNDATIONS, DEPTH AND SIZE TO SUIT SITE CONDITIONS AND TO LOCAL AUTHORITY REQUIREMENTS. GENERALLY 600x600mm MIN. DEPTH TO TOP OF CONCRETE TO BE 600mm FOR FROST PROTECTION OR TO SAME DEPTH OF EXISTING HOUSE FOUNDATIONS IF DEEPER WHERE DRAINS PASS UNDER BUILDINGS FOUNDATIONS TO BE TAKEN BELOW AND DRAIN FRAMES BY LINTELS WHERE PASSING THROUGH WALLS.

**EXTERNAL WALLS:-** (0.300/AN) 150mm BRICKWORK WITH 100mm DPC. EXTERIOR LEAF TO INNER LEAF AND 150mm BELOW GROUND LEVEL TO EXTERNAL LEAF. INTERIOR LEAF TO BE 100mm TO GROUND LEVEL WITH WEAK CONCRETE. 300mm/AN FROM 150mm FACING BRICKWORK. 50mm CLAYE CEMENT 50mm CONCRETE WITH 17 INSULATION HELD IN PLACE BY BRICKING CLIPS ON STAINLESS STEEL WALL TIES (NOT BUTTERFLY TIES) INNER LEAF FROM 150mm HEADED CONCRETE BRICKWORK. 50mm CLAYE CEMENT 50mm CONCRETE WITH 17 INSULATION HELD IN PLACE BY BRICKING CLIPS ON STAINLESS STEEL WALL TIES TO BE BUILT ON MIN. COMPRESSIVE STRENGTH STAINLESS STEEL AT 450mmVERT. AND 750mmHORIZ. DRS TWO PART 12mm LONG REBAR PLASTER FINISH INTERNALLY. DRAINAGE CHANNELS AROUND ALL OPENINGS INCLUDING DPC'S TO BE INSULATED AND CONTINUOUS.

**DAMP PROOF COURSES:-** HORIZONTAL AND VERTICAL DAMP PROOF COURSE TO COMPLY WITH BS 743 AND POSITIONED AS FOLLOWS:- a) NOT LESS THAN 150mm ABOVE GROUND TO ALL WALLS. b) HORIZONTAL AND VERTICAL TO ALL DOOR AND WINDOW JAMB OPENINGS. c) UNDER FLOOR JOISTS IN INNER LEAF. d) UNDER FLOOR JOISTS TO ALL AIR-BRICKS TO EXTEND TO ANCHORAGE WITH ALL NEW ROOF FINISHES AND EXTERNAL WALLS. PROVIDE STEEPED DPC TO FIRM GUTTY TRAY.

**FIRE PROTECTION:-** DWELLING TO HAVE A MAIN WIND SMOKE ALARM SYSTEM. FLOOR CONSTRUCTION:- (COSEWIS) 18mm TAG FLOORING GRADE BOARDING/OSB/BOARD ON SJP JOISTS AT 450mm ON BAYS WITH 100mmTHK. (E) DECOR. SOUND INSULATING QUIET AND KINGSPAN THERMATECH BETWEEN (E) JOISTS. JOISTS TO BE SUPPORTED OFF GALV. JOIST HANGERS (FURTEX LTD OR SIMILAR APPROVED).

**PITCHED ROOF CONSTRUCTION (COSEWIS):-** "MARLEY WESSEX" INTERLOCKING CONCRETE ROOF TILES TO LAY A 30 PITCH COLOUR TO MATCH EXISTING ROOF. FIXED TO 38 x 25mm SW BATTENS ON A 100mm LAYER OF VAPOUR-FERMEABLE LINERBOARD OR 50mmTHK RIFTERS AT 600mm. PROVIDE THE FOLLOWING TO CEILING LEVEL. (0.18 W/M) PROVIDE WITH 50mmTHK KINGSPAN THERMATECH T10 INSULATION LIGHT BETWEEN 50x70 CEILING JOISTS@400CRS. FIXED TO WALL-PLATES AND AT THIRD SPAN POINT TO 50x50 BRIDGES AND 100mm THK. INSUL. LAY OVER WITH 8.5mm FOL BACKED PLASTERBOARD AND FINISH (PART 3) SEE SECTION A-A FOR INSULATION TO EX RAFTERS.

**VENTILATION TO ROOF AREA:-** ROOF VENTED AT RIDGE WITH VENTILATOR WITH FLY SCREEN AND AIR GAP TO PROVIDE VENTILATION AT LEAST EQUAL TO A 100mm CONTINUOUS STRIP AT ALL SIDES OF ROOF TO GIVE CROSS VENTILATION OF ROOF SPACE.

**VENTILATION TO NEW CONSERVATORY:-** NEW WINDOWS AND FRENCH DOORS TO HAVE TRICKLE VENT TO HEAD TO GIVE NOT LESS THAN 8000mm<sup>2</sup> FREE VENTILATION (TRICKLE VENT CONTROLLABLE). NEW KITCHEN AREA TO HAVE MECHANICAL VENTILATION TO PROVIDE EXTRACT VENTILATION AT THE RATE OF (A) 30 LITRES/SECOND ADJACENT TO COOKING HOOD OR (B) 60 LITRES/SECOND IF POSITIONED ELSEWHERE IN KITCHEN.

**LATERAL SUPPORT TO FLOORS AND ROOFS:-** WALL PLATES TO BE ANCHORED DOWN TO BLOSSING BY 30 x 9 x 1200mm MILD STEEL HOLDING DOWN STRIPS TURNED OVER WALL-PLATE AT 2000mm c/c. PITCHED ROOF MEMBERS TO BE SUITABLY ANCHORED BY 100 x 100mm MILD STEEL ANCHORS 30 x 5 x 100mm TO EQUAL SPAN OVER JOISTS OR RAFTERS TO BE IN ACCORDANCE WITH BS5268 AND SCHEDULE 7 BUILDING REGULATIONS 1991.

**DRAINS:-** NEW DWP/210 AND SVP TAKEN INTO EXG. MAN. AND EXG. DRAIN. ANY DRAIN PASSING UNDER NEW EXTENSION TO BE ENCASED IN 150mmTHK CONG. WITH MOVEMENT JOINTS BENEATH AND BOTH SIDES OF WALL WHEN PASSING THROUGH WALLS. ALL TO MANUF. RECOMMENDATIONS. ALL DRAINS PASSING THROUGH WALLS TO BE PROTECTED BY LINTELS. FOUNDATIONS TO BE TAKEN LOWER THAN DRAINS. ALL REDUNDANT DRAINS TO BE SEALED OFF/GRUBBED UP.

**LINTELS:-** ALL LINTELS OTHERWISE STATED TO BE CAINC CH140 OR SIMILAR APPROVED GALVANISED MILD STEEL LINTELS TITLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION. ALL LINTELS TO BE REQUIRED TO ACHIEVE HALF HOUR FIRE PROTECTION. ALL LINTELS TO ACHIEVE 150mm END BEARING. ALL LINTELS TO HAVE HORIZONTAL DAMP PROOF COURSE.

**ELECTRICAL FITTINGS:-** LIGHTING & POWER CIRCUITS TO BE EXTENDED AND INSTALLED TO LATEST I.E.E. WIRING REGULATIONS BY QUALIFIED SPECIALIST CONTRACTORS. HIGH EFFICIENCY LIGHTING REQUIRED.

**HEATING:-** EXTENSIONS TO HEATING SYSTEMS TO BE DESIGNED & COMPLETED BY SPECIALIST CONTRACTOR.

**WINDOWS/DOORS:-** (LOW) NEW WINDOWS TO BE IN WHITE PVCU AND TO BE DOUBLE GLAZED WITH 8-20-8mm UNITS (ARGON FILL) COMPLYING TWO LEVELS OF LOW E GLASS TO MEET THE REQUIREMENTS OF PART L. ALL GLAZING WITHIN ROOMS OF THE FLOOR SHOULD BE TOUGHENED SAFETY GLASS. FRAMES TO INCORPORATE TRICKLE VENTS TO ACHIEVE 8000mm<sup>2</sup> WITH FLY SCREEN INSTALLED TO 1500mm. ALL GAPS AROUND WINDOWS TO BE SEALED WITH FOAM.

**AIR BRICKS:-** 150mm min. AIR SPACE BELOW FLOOR SYSTEM. VENTILATED USING AIR BRICKS AT 1200CRS. BELOW SUSPENDED GROUND FLOOR. 150x75 SIZE WITH CAVITY TRAYS OVER.

**SKYWAYS:-** SKYWAYS SHALL BE A MINIMUM OF 50mm FROM ANY PART OF A BUILDING AND 150mm FROM BUILT IN HORIZONTAL BRICKWORK ON LEAN M/R CONCRETE TOPPED WITH MEMBRANE + CONCRETE SLAB AND LINTEL.

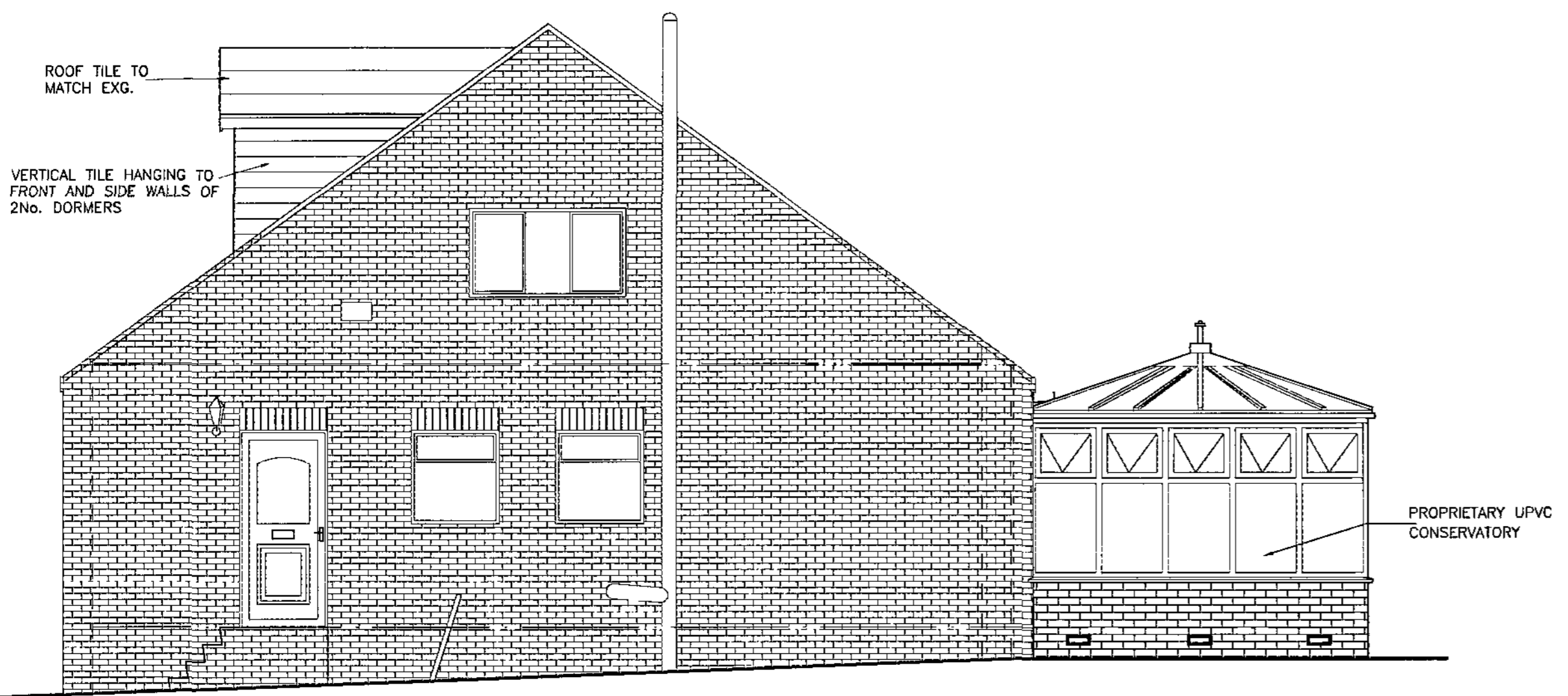
CONTRACTOR TO READ ALL NOTES AND TAKE SITE DIMENSIONS AS NECESSARY PRIOR TO ORDERING MATERIALS

**PLANNING/ BUILDING REGS**

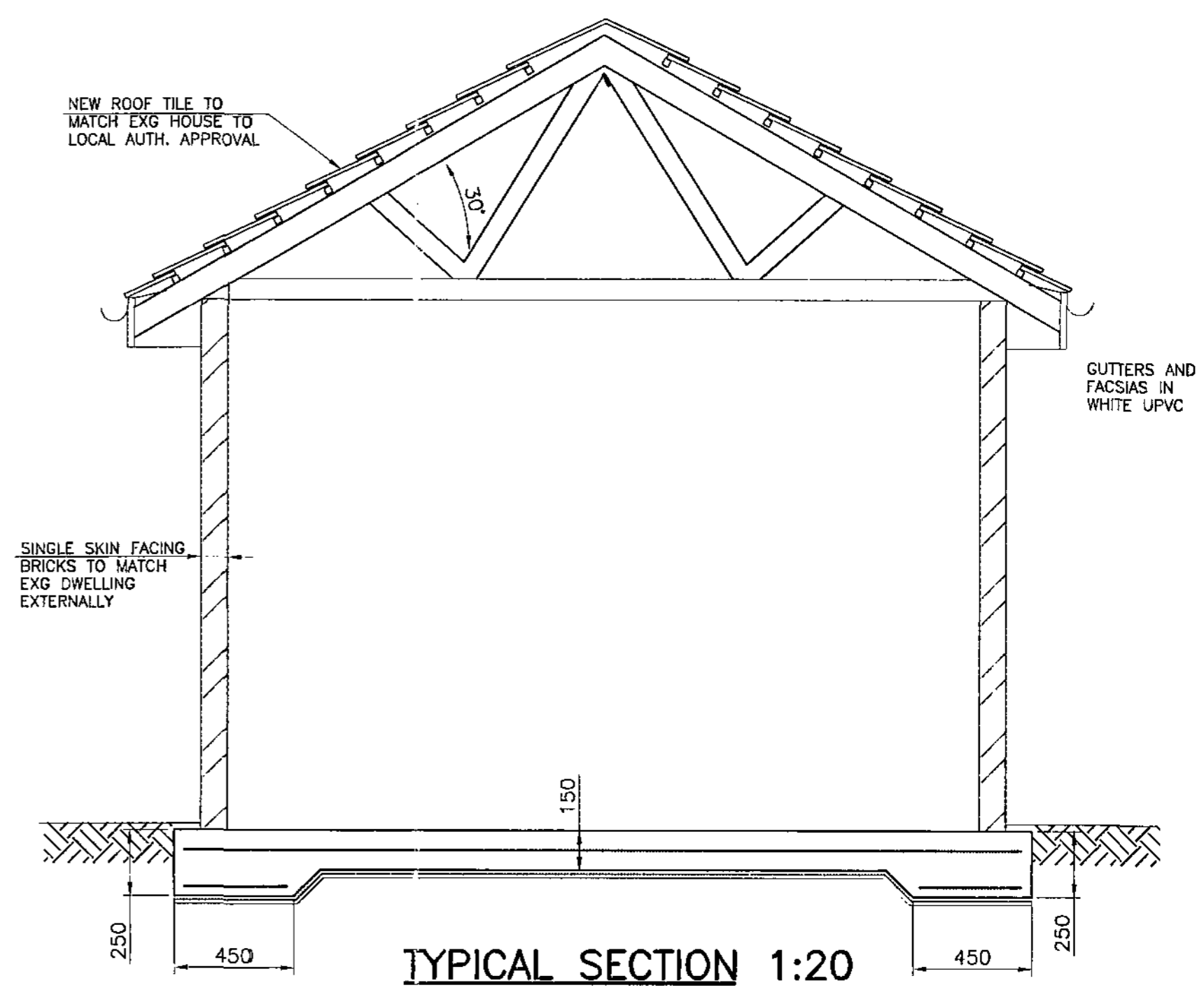
SUFFIX	REVISIONS	DATE
CLIENT MR G. COLVILLE		
PROJECT PROPOSED LOFT CONVERSION TO EXISTING BUNGALOW AT No.13 BARLBOROUGH RD WOMBWELL BARNSELY SOUTH YORKSHIRE S73 0RQ		
TITLE EXISTING AND PROPOSED PLANS, ELEVATIONS, TYPICAL SECTION AND DETAILS. SHEET 1 OF 2		
PLOT DATE 21/08/08		
SCALE 1:50/100 DRAWN SAW		
PROJECT No. BDS 167-01-08		

Barnsley Metropolitan Borough Council  
01 SEP 2008  
Corporate...

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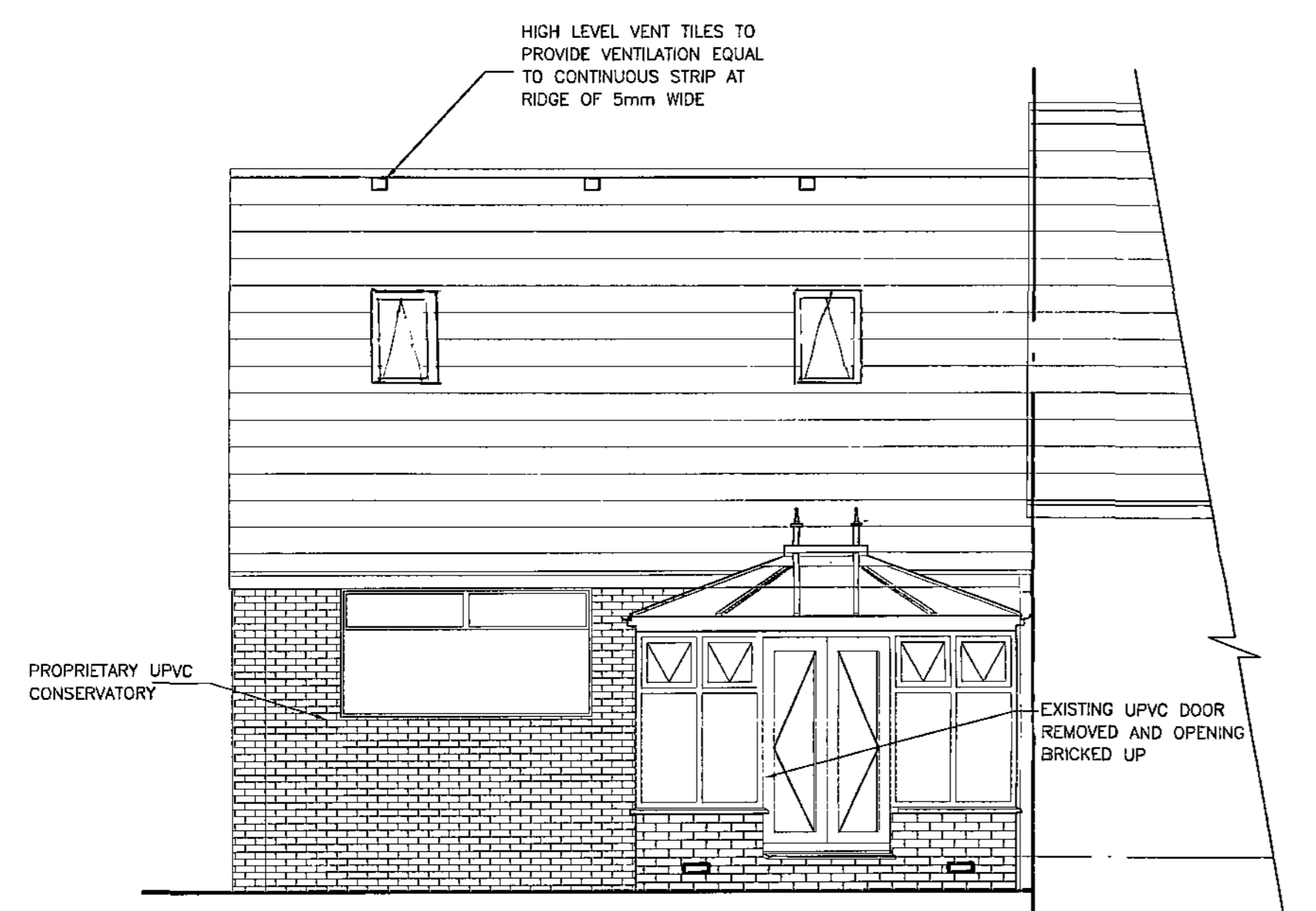


**PROPOSED SIDE ELEVATION 1:50**

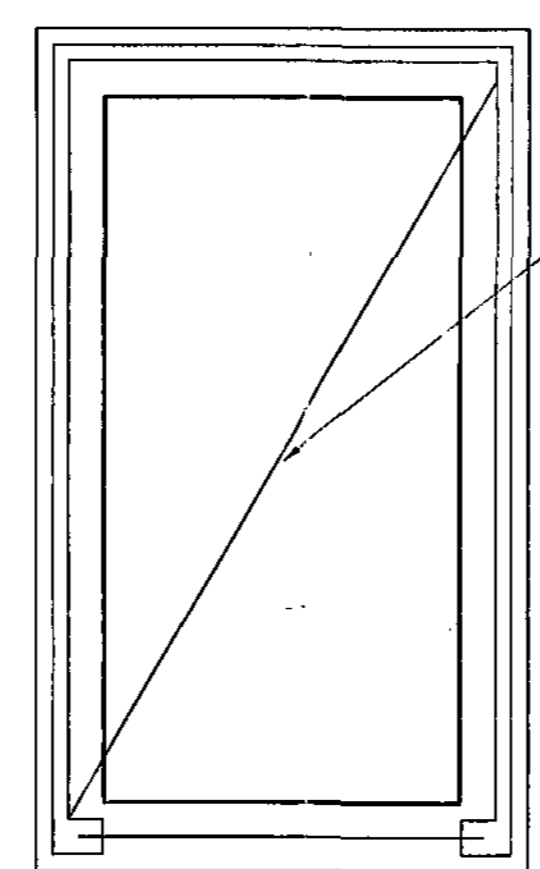


**TYPICAL SECTION 1:20**

FOUNDATION LEVELS TO BE AGREED WITH BUILDING INSPECTOR



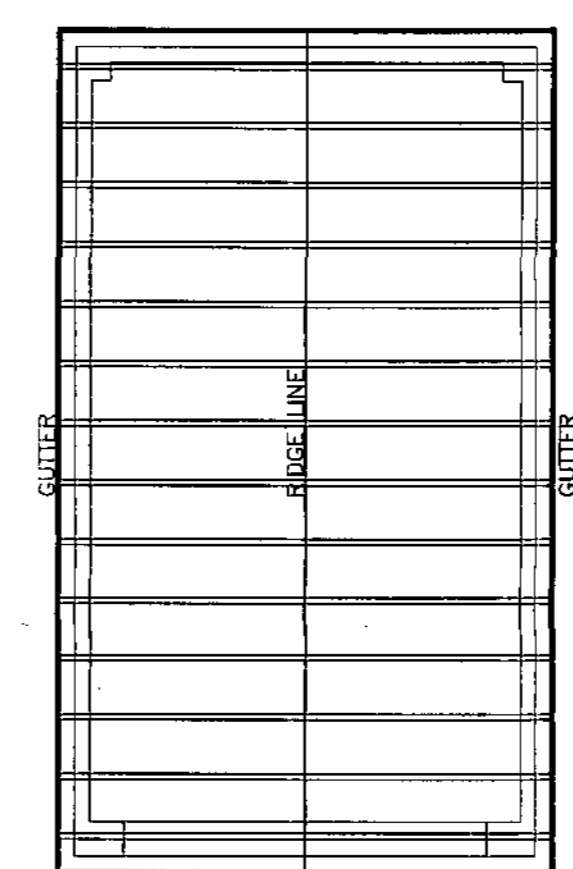
**PROPOSED REAR ELEVATION 1:50**



**SLAB PLAN 1:50**  
SHOWING THICKENINGS UNDER

FOUNDATION LEVELS TO BE AGREED WITH BUILDING INSPECTOR

PROPOSED GARAGE SLAB - 150TH GR. C30 CONCRETE SLAB WITH 450x2500P THICKENINGS REINFORCED WITH 1 No. LAYER OF A142 FABRIC 40mm COVER ON VISQUEEN CURING MEMBRANE ON SAND BLINDING ON COMPACTED HARDCORE



**ROOF PLAN 1:50**

ROOF CONSTRUCTION TO SUIT GARAGE MANUFACTURER

CONTRACTOR TO READ ALL NOTES AND TAKE SITE DIMENSIONS AS NECESSARY PRIOR TO ORDERING MATERIALS

**PLANNING/  
BUILDING REGS**

SUFFIX	REVISIONS	DATE

CLIENT MR G. COLVILLE  
PROJECT PROPOSED LOFT COVERSION TO EXISTING BUNGALOW AT No.13 BARLBROUGH RD WOMBWELL BARNSELY SOUTH YORKSHIRE S73 0RG

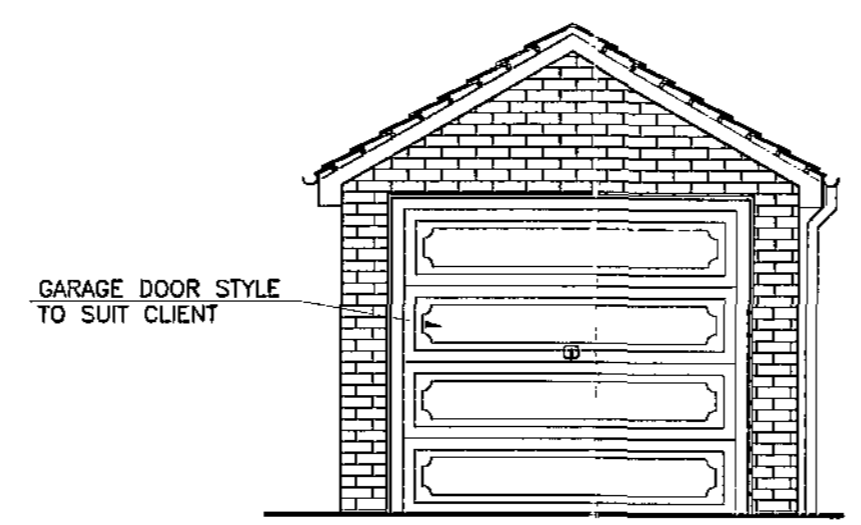
TITLE EXISTING AND PROPOSED PLANS, ELEVATIONS, TYPICAL SECTION AND DETAILS. SHEET 2 OF 2

PLOT DATE 21/08/08  
SCALE 1:50/100 DRAWN SAW

PROJECT No. **BDS 167-01-08**

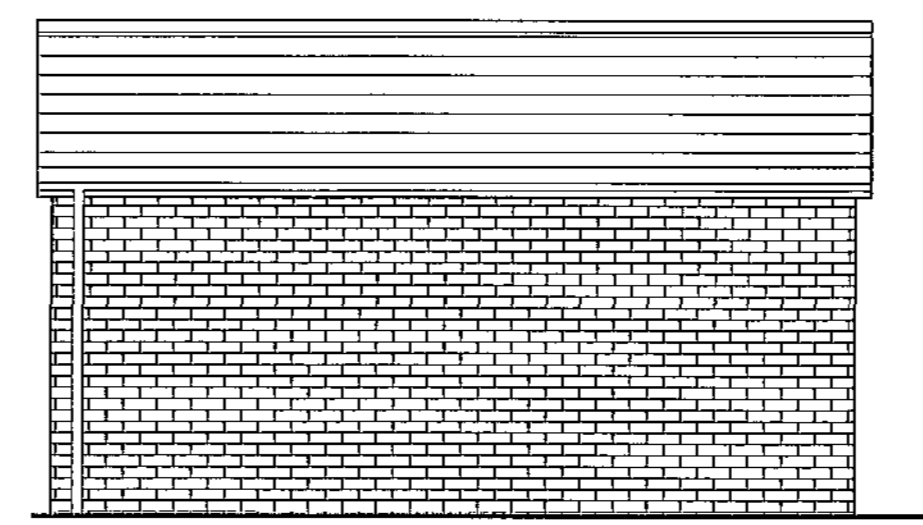


**PROPOSED FRONT ELEVATION 1:50**

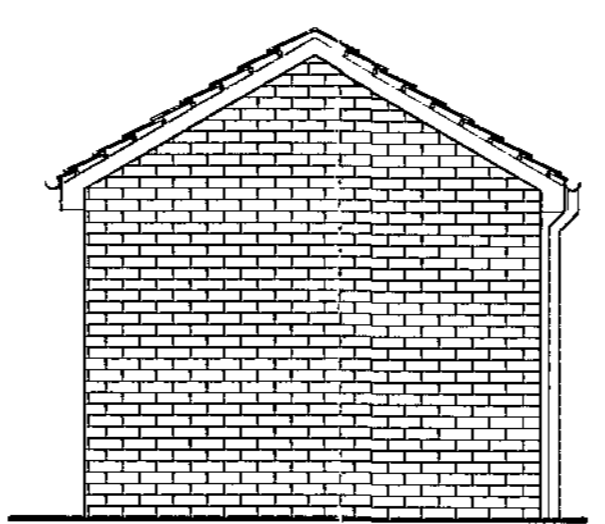


**FRONT ELEVATION 1:50**

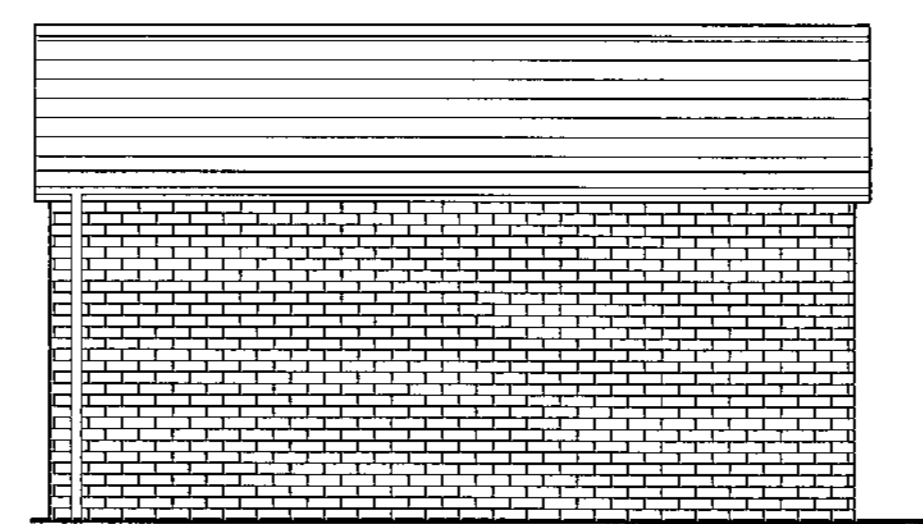
GARAGE DOOR STYLE TO SUIT CLIENT



**SIDE ELEVATION 1:50**



**REAR ELEVATION 1:50**



**SIDE ELEVATION 1:50**

**PROPOSED GARAGE DETAILS**

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