

2024/0871

Mr Dave Kenny

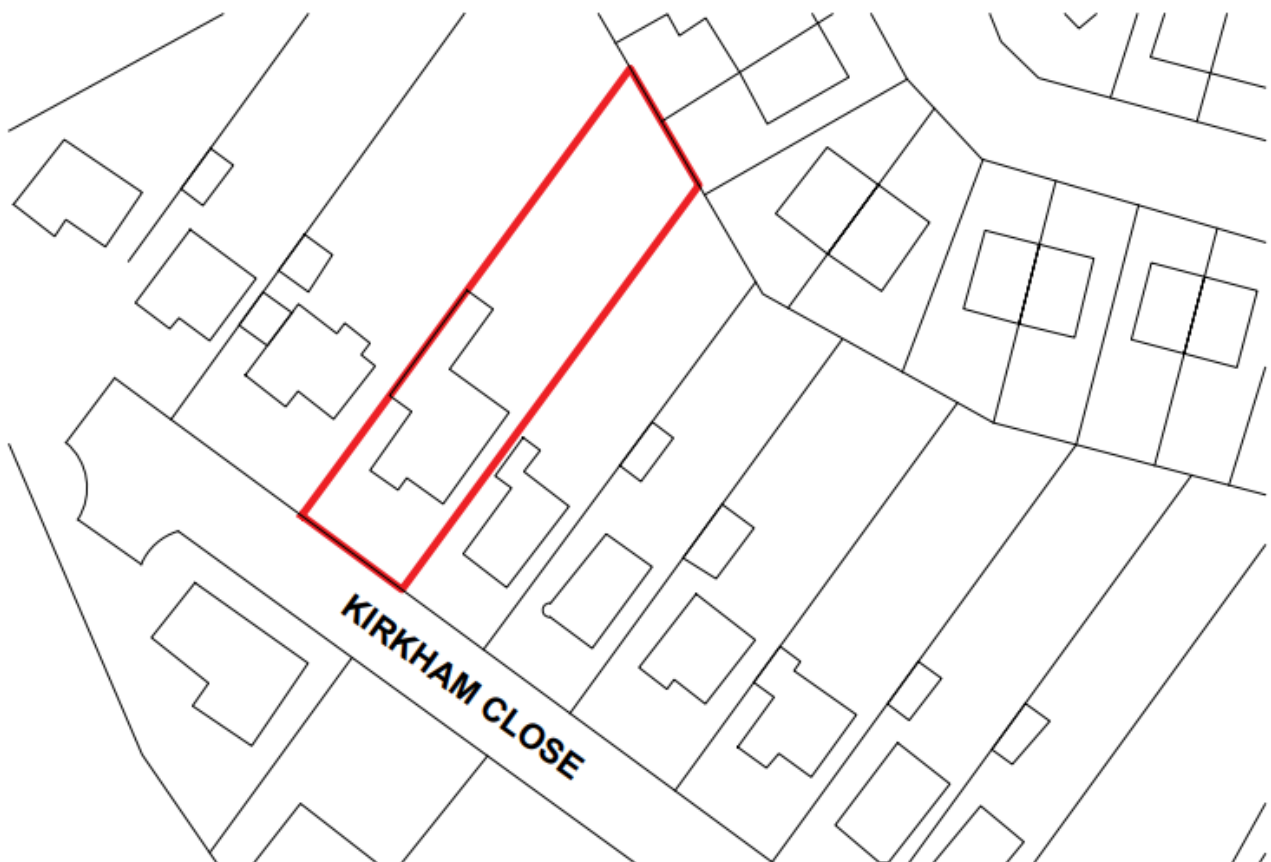
16 Kirkham Close, Monk Bretton, Barnsley, S71 2JU

**Installation of 2 no front dormer windows, erection of a front wall, formation of a drive and rendering of principal elevation (Part Retrospective) (Amended Description)**

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### Site Description

The application relates to a detached bungalow on Kirkham Close within the Monk Bretton area. The property is formed from a pitched tiled roof. The property features a two-storey extension to the rear and a single storey flat roofed extension to the rear. This was approved under previous application 2021/0051. A single storey garage is to the northwest of the property. The property is formed from buff brick to the side elevations. Off White/ Cream render has been used to the front and rear elevations. The front of the property is a concreted drive with a soakaway and loose stones to the east of the driveway. The front of the site features an Off White/Cream rendered wall with metal railings and a metal railing gate. The surrounding area is characterised by detached and semi-detached bungalows predominantly formed from brick with some occasional render in use.



## **Relevant Planning History**

B/99/1154/BA - Erection of attached double-length garage – Historic Decision

2021/0051 - Extension of roof height with two storey extension to rear including first floor balcony and single storey extension to rear/side including replacement attached garage – Approve with Conditions

## **Proposed development**

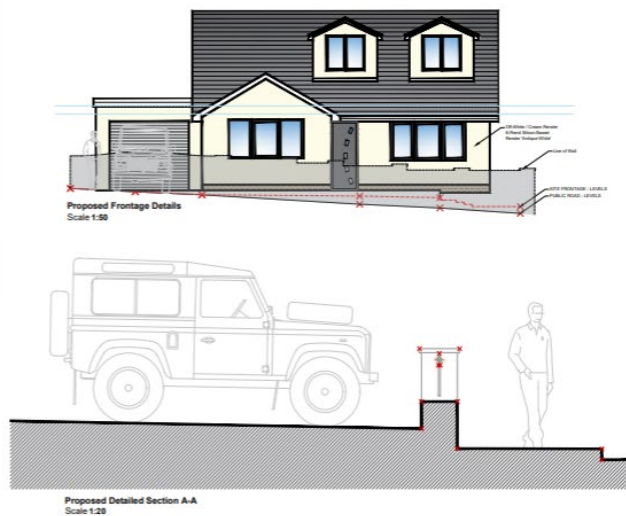
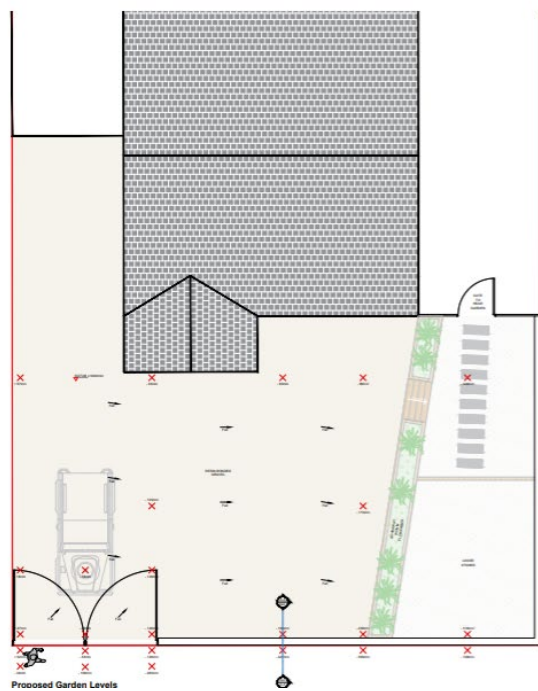
The applicant is seeking permission to install two dormer windows to the principal elevation of the property replacing the existing Velux Windows. The formation of a driveway, the rendering of the principal elevation and the erection of a wall to the front of the site has been applied for retrospectively.

The proposed dormer windows have a total height of approximately 2 metre and an approximate width of 1.6 metre. A set down of approximately 0.25 metres is proposed from the ridge height of the dwelling with a set back from the eaves of approximately 1 metre. The east dormer is set in from the side elevation by approximately 0.8 metre. A gable roof pitch is proposed to the dormers. The dormers are proposed to be formed from render on the side and principle elevation to match the rendered principle elevation which has been applied for retrospectively. Dark slate is proposed to the dormer roofs to match the existing roof.

The front wall, driveway and rendering is applied retrospectively. The wall is approximately 1.2 metres high and is erected to the south and east boundary of the site. The wall is formed from Off-White/Cream render. The wall features pillars with metal railing between. A pedestrian gate is proposed centrally to the front elevation with a vehicular metal railing gate to the west side providing access to the driveway.

The driveway is to be formed from a resin bonded gravel. A run-off is provided to the east of the driveway to a soakaway within a flowerbed.

Retrospective permission is sought to render the principal elevation of the property in Off White/Cream render.



## Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High Quality Design and Place Making.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***

### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

### National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

## Consultations

No Consultees

## Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

## **Assessment**

### Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety

### Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed dormer windows provide no greater level of overlooking than the existing Velux windows. A distance of approximately 26 metres is maintained between the proposed dormer window and the front elevation of neighbouring 9 Kirkham Close opposite, greater than the required 21 metres set out within the House Extensions and Other Domestic Alterations SPD.

The proposed wall is of a relatively low level and is therefore not considered to detrimentally impact the residential amenity of neighbouring 14 Kirkham Close's outlook.

No objections have been received and no previous issues have been raised.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

### Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The proposed dormers are in line with the House Extensions and Other Domestic Alterations SPD as they benefit from a set down at the ridge and a set back at the eaves. A set in of approximately 0.8 metre has been provided from the east gable elevation of the dwelling; an increase on the required 0.5 metre set out within the House Extensions and Other Domestic Alterations SPD. A gable roof form has been used which is preferable to a flat roof. These features allow the proposed dormers to sit sympathetically within the roof plane the dwelling. Although the House Extensions and Other Domestic Alterations SPD outlines that dormers to the front of properties are not usually appropriate, it is noted that existing flat roofed dormers are evident on the street scene and surrounding area. Furthermore, the proposed gable roofed dormer is an improvement on the existing flat roofed dormers within the area.

Although front walls are not a common feature of the street scene, the front wall is not considered overly dominant in the context of the dwelling. Although other nearby walls are lower and therefore less dominant, the wall detailed only exceeds the height of a permitted development wall by 0.2 metre and so is considered acceptable.

The driveway provides surface water run-off to a soakaway which would allow the driveway formation to be implemented under permitted development.

The use of render is considered acceptable in this case as there is evidence of render being used on the neighbouring property 18 Kirkham Close as well as other properties within the area. The property also benefits from the retention of the brickwork to the side elevations.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

#### Highway Safety

The proposal does not result in the loss of parking facility or the increase in the number of bedrooms. The vehicle gates open inwards preventing any highway safety issues from an opened gate.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

#### **Recommendation**

**Approve with Conditions**