



Planning Statement

Proposed development comprising conversion of stone barn to single dwelling together with refurbishment of adjacent Grade II listed farmhouse including replacement single storey extension, erection of two single storey garage buildings, creation of passing bays to access track, hard and soft landscaping and BNG enhancements.

Royd Field Farm, Royd Field Lane, Cubley, Penistone, S36 9AW

Prepared for Executors of Margaret Berry (Deceased) by

Jan 2025

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1.0 Introduction

- 1.1 This Planning Policy Statement has been prepared on behalf of the Executors of Margaret Berry (Deceased) in support of their planning and listed building consent application for conversion of the existing agricultural building to form a dwelling together with refurbishment, including replacement single storey extension, of the adjacent Grade II listed farmhouse on land at Royd Field Farm, Cubley.

Background

- 1.2 The site sits in the green belt and comprises part of the Estate of Margaret Berry deceased. The application is submitted by the executors of the Estate. The buildings have been empty since the passing of Margaret Berry and this proposal seeks to bring them back into active use.
- 1.3 A recent application has been submitted by Mark Booth Design (on behalf of the Executors) to divert an existing right of way within the site. The submitted plans for this scheme reflect the proposed diversion but it should be noted that one does not prejudice, or depend upon, the other.
- 1.4 The proposed conversion and limited new build (detached garages), together with improvements to the listed farmhouse, are considered to be appropriate forms of development in the green belt. The proposal brings empty buildings back into active use and delivers wider heritage benefits together opportunities to improve the visual amenity of the site and its surrounds and also delivers BNG enhancements with the red line.
- 1.5 We therefore look forward to working with the LPA to secure planning permission and listed building consent for the proposed development.

Planning History

- 1.6 There is no relevant planning history associated with the stone barn
- 1.7 The existing white upvc windows were approved in 2007 under application reference 2007/1183. There is no record for the existing single storey side extension on the Council's Planning Portal page although it is noted in the 1988 listing description for the farmhouse – listed as a later addition (Please refer to submitted Design and Heritage Statement).

The Site

- 1.8 The site is located off Mortimer Road to the west of Cubley and access is via a country lane (Royd Field Lane). It is part of a former smallholding which also includes a Grade II Listed Farmhouse and a number of small outbuildings. Both the farmhouse, which has been previously used as a dwelling, and the barn are currently unoccupied.
- 1.9 The site sits within designated Green Belt. The site sits within Flood Zone 1 and is not subject to any landscape or ecological designations. As stated above, the farmhouse is Grade II listed. There are no trees of note on site. A public right of way runs along the existing track with further paths located to the north. As stated, there is a current application to divert the right of way between the barn and farmhouse.

- 1.10 The barn is constructed in stone with a number of openings on both the north and south facing elevations. Roofing materials are currently concrete tile for the main barn with blue slate on the single storey element. The barn is predominantly two storey with a single storey pitch roof addition at its eastern gable.
- 1.11 The listed farmhouse was originally a pair of cottages now knocked into one. It is stone built with welsh slate roof. There is a single storey pitch roof extension to the north gable which is pebble dashed. Existing windows are dressed with stone but frames are white upvc.
- 1.12 Copied below are images of the barn and farmhouse



Grade II Listed Farmhouse

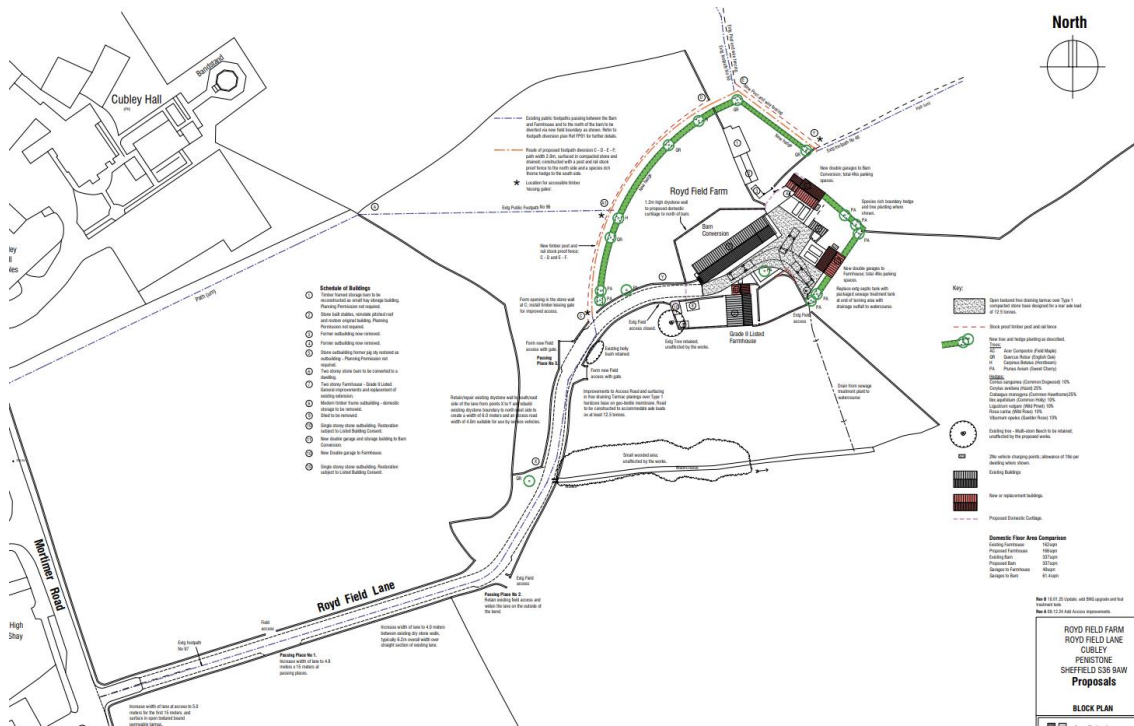


Adjacent Barn

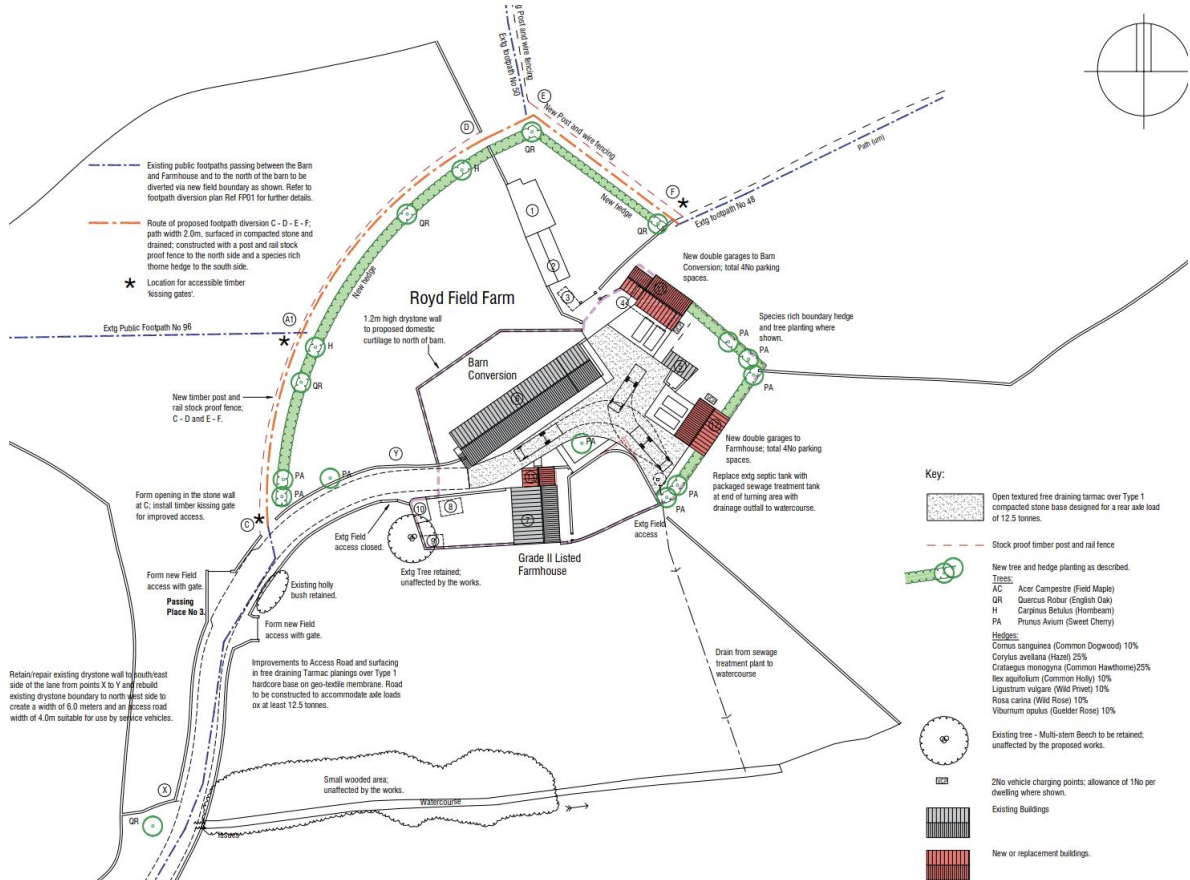
- 1.13 Further details on the existing barn can be found in the submitted Structural Appraisal Report with details on the listed farmhouse in the submitted Design & Heritage Statement.
- 1.14 To the north and east of the stone barn and farmhouse are a number of smaller outbuildings (barns, stables, pigstys and outdoor toilet) constructed in a variety of materials including stone, slate, corrugated sheeting and timber. There is also remains of a couple of former outbuildings.
- 1.15 Further plans, photos and details on the existing buildings can be found in the technical reports (Design & Heritage; Ecology and Structural Assessment) submitted in support of the proposals.

The Proposal

- 1.16 The proposal seeks to convert the stone barn to a 4-bed family dwelling with improvements to the listed farmhouse to bring it up to modern habitable standards. Access will be taken from the existing track to the west (Royd Field Lane)
- 1.17 The proposal comprises the conversion of existing stone barn to form a family dwelling with new detached double garage building and modest garden to the rear (delineated with stone wall from the retained paddock beyond). The main barn will be reroofed in artificial stone slates (replacing existing concrete tiles) with the single storey element retaining its blue slates. Existing openings will be retained and re-used with a limited number of new openings (hardwood timber frames of random size and shape and rooflights) proposed to facilitate the conversion to a 4-bed dwelling. The double garage with store will be single storey constructed in reclaimed stone with artificial stone slate roof. 4 parking spaces will be created.
- 1.18 The adjacent Grade II listed farmhouse will be refurbished with the existing rendered single storey side extension demolished and replaced with a stone single storey extension as part of the wider improvements to the heritage asset. The replacement single storey extension will be slightly larger in floor area (existing is 12sqm, proposed is 16sqm). A new double garage building (reclaimed stone and artificial stone roof) is proposed to serve the farmhouse, again located to the east adjacent to existing buildings and the proposed garage for the barn conversion. The domestic curtilage remains as existing. Existing upvc windows will be replaced with timber windows whilst other enhancements include replacement guttering, new doors and repointing.
- 1.19 A number of existing outbuildings will be retained within this group of buildings and repaired whilst the access track will also benefit from the creation of 3 passing spaces.
- 1.20 The existing paddock to the north of the barn falls within the red line and will be used for BNG enhancements together with land to the east adjacent to the proposed garages and to the west along the access track. Integrated bat boxes are to be included on the new garage buildings. The proposed site layout plan clearly indicates the extent of the domestic curtilage identified to serve the barn conversion.
- 1.21 Full details of the proposed works are set out in Section 3 of the Design & Heritage Statement.
- 1.22 The proposed layout is copied below – see over page



The image below is an enlarged version of the works to the barn and farmhouse:





The Planning Application


1.23 This planning application includes the following:


- Completed application form
- Site Location, Site Layout & Elevation drawings – MBooth Design Ltd – see list below:


 BP01 Block Plan (A3)

 BP01 Existing Block Plan (A2)


 BP02B Proposed Block Plan (A1)


 OS1A Location Plan (A3)

 P02A Barn Proposals (A2)

 P03A Farmhouse Proposals (A2)

 P04 Garage Proposals (A2)

 S01A Farmhouse Survey (A2)

 S02A Barn Survey (A2)

- Design and Heritage Statement – MBooth Design Ltd
- Ecology Report and BNG (EcIA) – Whitcher Wildlife
- Structural Assessment – MBooth Design Ltd
- Planning Statement – Alistair Flatman Planning

1.24 The submitted additional technical information is considered sufficient to enable the Local Planning Authority to determine the clear merits of the proposed development.

2.0 Relevant Planning Policy.

National Planning Policy Framework (December 2024) – Summary & Assessment

- 2.1 The National Planning Policy Framework (revised Dec 2024) sets out the government's planning policies for England and how these are expected to be applied. The National Planning Policy Framework must be taken in to account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions.

- 2.2 Set out below is a summary and assessment of the relevant sections of the NPPF. The National Planning Policy Framework sets out that the purpose of the planning system is to contribute to the achievement of sustainable development. The guidance advises that the policies in paragraphs 1-230 taken as a whole constitute the government's view on what sustainable development in England means in practice for the planning system.

Achieving Sustainable Development

- 2.3 Paragraphs 7, 8 and 11 of the NPPF confirms that the purpose of the planning system is to contribute to the achievement of sustainable development.
- 2.4 Paragraph 8 sets out the three overarching objectives of sustainable development, namely economic, social and environmental objectives. Paragraph 10 confirms that the presumption in favour of sustainable development is at the heart of the Framework.
- 2.5 Paragraph 11 sets up the presumption in favour of sustainable development stating:

For decision-taking this means:

- c) approving development proposals that accord with an up-to-date development plan without delay; or*
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date⁸, granting permission unless:*
- i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed⁷; or*
 - ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.*

- 2.6 The proposal is consistent with Local Plan policies supporting the conversion of, and limited extension to, existing buildings (Local Plan policies GB1, GB2 and GB3) in the green belt. Similarly, Policy HE1 seeks to support proposals that enhance heritage assets. As such 11(c) is relevant and the presumption in favour of sustainable development applies.

Delivering a sufficient supply of homes

- 2.7 Chapter 5 of the NPPF relates to the delivery of a sufficient supply of homes with Paragraph 61 confirming the Government's objective of significantly boosting the supply of housing.
- 2.8 Paragraph 73 confirms the role of smaller sites in meeting housing requirements stating such sites can make an important contribution to meeting the housing requirement of an area, and are often built-out relatively quickly.
- 2.9 Paragraph 84 refers to development of homes in the countryside and seeks to avoid isolated dwellings. However, there are a number of acceptable circumstances for development in the countryside including development that comprises the re-use of redundant or disused buildings and enhance its immediate setting is acceptable in principle (para 84-c).
- 2.10 The application comprises conversion of an existing building and will contribute to the Council's housing supply.
- 2.11 As such the proposal is considered acceptable in principle with regards NPPF paras 61, 73 and 84.

Promoting Sustainable Transport

- 2.12 Chapter 9 of the NPPF refers to highways matters with para 116 advising that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
- 2.13 The proposed development will create 1 new dwelling through the conversion of existing buildings served by an existing access. Indeed, the use of the track for an additional dwelling will likely generate fewer movements than those associated with the existing agricultural use of the building. The proposal will create off street parking / garaging for the conversion as well as the improvements to the listed farmhouse. There is space within the site for turning and parking whilst 3 passing bays can be provided along the existing access track on land in control of the applicant.
- 2.14 The proposal will not give rise to any severe residual cumulative impacts on the road network in terms of safety or capacity.

Making Effective use of Land

- 2.15 Chapter 11 of the NPPF advises that decisions should promote an effective use of land in meeting the need for homes and other uses. There is also an emphasis on making as much use as possible of previously-developed or 'brownfield' land.
- 2.16 Paragraph 125 (d) seeks to promote and support the development of land and buildings.
- 2.17 The proposed development seeks to convert the existing stone barn into a family dwelling.
- 2.18 As such it is considered the proposal is entirely consistent with guidance set out in Chapter 11 of the NPPF.

Design - Achieving well-designed places

- 2.19 Chapter 12 of the NPPF refers to Design (Achieving well-designed places) and advises that good design is a key aspect of sustainable development.
- 2.20 Paragraph 135 sets out a number of design criteria to be considered in terms of design of development stating:
- 135. Planning policies and decisions should ensure that developments:*
- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
 - b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
 - c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*
 - d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;*
 - e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*
 - f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.*
- 2.21 The proposed development comprises sensitive conversion of an existing stone-built barn together with the replacement of a pebble-dashed single storey extension on the northern gable of the listed building. The conversion is sensitive to the agricultural character of the barn utilising existing openings and proposing minimal new openings or rooflights. The replacement extension to the listed building will be pitched roof and constructed in stone to match the main dwelling, this is a visual improvement on the existing extension. Similarly, the replacement of upvc window frames with painted timber frames will enhance the appearance of the heritage asset. The domestic curtilage proposed for the barn conversion has been kept to a minimum with the paddock beyond retained as a paddock with improvement to grass seed mix to achieve required BNG enhancements. Proposed double garages are single storey and constructed in stone and slate to reflect the main barn. Boundary treatments are stone walls, post and rail fencing and new hedgerows with planting within the site as well.
- 2.22 From the information submitted it is considered the site can be designed to enhance the character and appearance of the site whilst retaining its agricultural character through sensitive conversion and design / materials. The proposal will deliver a well-designed scheme with benefits to visual amenity of the site and its surrounds as well as heritage benefits to the listed building and its setting.

Protecting Green Belt Land

- 2.23 The application site is located within the defined Green Belt. The essential character of the green belt is its openness. The Green Belt serves the following five purposes (para 143);
- To check the unrestricted sprawl of large built-up areas.
 - To prevent neighbouring towns merging into one another;
 - To assist in safeguarding the countryside from encroachment;
 - To preserve the setting and special character of historic towns; and
 - To assist in urban regeneration, by encouraging the recycling of derelict and other urban land.
- 2.24 Given the compact nature of the site and existence of numerous buildings, the role of the green belt in this location is limited in terms of the five purposes listed above.
- 2.25 As such it is considered the role of the green belt in this location is limited to that of safeguarding the countryside from encroachment. The site historically comprises the farmhouse (two former cottages knocked into one) and associated barn, together with a number of other agricultural buildings (as set out in Section 1 of this Planning Statement) together with areas of hardstanding and garden. The converted building, its garden area and parking / garaging will be seen in the context of the existing / adjacent residential use and maintain the general character and appearance of a cluster of buildings in the green belt.
- 2.26 Paragraph 151 of the NPPF advises that LPA's should plan positively to enhance their beneficial uses such as looking for opportunities to (inter alia) retain and enhance landscapes, visual amenity and biodiversity or to improve damaged land. The proposal can contribute to these opportunities for enhancement given the appearance of the site at present and delivery of well-considered and sensitive conversion of the stone barn and associated improvements to the listed building. The design and materials proposed will improve the appearance of the site with the conversion seen in context of the adjacent farmhouse and its domestic curtilage. The conversion and associated garage buildings proposed to serve the barn and farmhouse will not harm the function of the green belt in this location.
- 2.27 The NPPF sets out that inappropriate development is harmful to the green belt and should not be allowed unless very special circumstances exist (para 153). Para 154 also sets out the types of development considered appropriate in the green belt, this includes the following set out at para 154:
- (c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;*
- (d) the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;*
- 2.28 The proposal includes a replacement extension on the listed building. The replacement extension will be a visual improvement by replacing a pebble dashed structure with one constructed in stone. The replacement extension is slightly larger (16sqm proposed to replace 12 sqm existing) but remains modest

and subservient relative to the main dwelling. The extension will be used as part of the main dwelling as existing. The proposal is therefore consistent with para 154 c and d.

- 2.29 The proposed garaging associated with the barn conversion and farmhouse is modest and located on land close to the buildings which also has, or has had, outbuildings on. The new garaging is of a simple design well related to the barn and farmhouse and will not therefore be harmful to the openness of the green belt in this location. The garage / store for the barn conversion is 61sqm and double garage for farmhouse is 49sqm, total of new floor area is 110sqm. The existing barn and farmhouse have floor areas of 337 sqm and 162 sqm respectively. The additional 110sqm represents a 22% increase in floor area over existing – this is considered to be proportionate in respect of para 154 c.
- 2.30 Furthermore, paragraph 155 goes on to set out further types of development that can be considered appropriate. This includes conversions:
- (d) the re-use of buildings provided that the buildings are of permanent and substantial construction;*
- 2.31 The stone barn is of a permanent and substantial construction (as demonstrated in submitted Structural Appraisal), all with walls and roofing resulting in clearly defined built form. Further details on the structural condition of the barn and the works proposed for conversion / repair are set out in the submitted Structural Appraisal.
- 2.32 The proposed barn conversion utilises existing openings and sets out a modest rear garden area with parking / garaging to the east on land occupied by buildings / remains of former buildings. The proposed development is well designed delivering visual improvements over existing. The conversion in respect of external appearance are of a high quality and the proposed garage / store (61sqm) does not represent a disproportionate addition to the existing barn building (337sqm) (18% increase in floor area).
- 2.33 As such the proposal is considered to be appropriate in terms of principle (consistent with NPPF para 154 [c] and 155 [d]) such that it would not harm the function, visual amenity or openness of the Green Belt in this location.

Meeting the challenge of climate change, flooding and coastal change

- 2.34 Paragraph 170 of Chapter 14 confirms that development should be directed away from areas with the highest probability of flooding. The site lies within Flood Zone 1 and is therefore at low risk from flooding.

Conserving and enhancing the natural environment

- 2.35 Paragraph 187 of Chapter 15 advises that the planning system should contribute to and enhance the natural and local environment by: -
- a) protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils (in a manner commensurate with their statutory status or identified quality in the development plan);*
- b) recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland;*

- c) maintaining the character of the undeveloped coast, while improving public access to it where appropriate;*
- d) minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures and incorporating features which support priority or threatened species such as swifts, bats and hedgehogs;*
- e) preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability. Development should, wherever possible, help to improve local environmental conditions such as air and water quality, taking into account relevant information such as river basin management plans; and*
- f)remediating and mitigating despoiled, degraded, derelict, contaminated and unstable land, where appropriate."*

2.36 Paragraphs 192 and 193 relate to ecology and biodiversity considerations when determining planning applications. The site comprises existing buildings, garden areas, access tracks and paddock to the north of the barn. A full ecological survey has been undertaken with recommendations for mitigation and enhancement including use of bat boxes on the garaging. Full details are included in the submitted EclA prepared by Whitcher Wildlife. The submission advises that the required 10% BNG can be achieved within the red line area – the details of this can be dealt with via condition.

2.37 The site is not subject to any landscape designations.

2.38 Paragraph 196 refers to ground conditions, advising that when making decisions consideration must be given to whether a site is suitable for its proposed use taking account of ground conditions and any risks arising from land instability and contamination. The site is historically agricultural and residential, as such there are no known contamination or stability issues that would prevent development of this site.

Conserving and enhancing the historic environment

2.39 With regards Heritage, paragraphs 202 to 221 set out guidance and policies on how to assess effects on heritage assets and the level of harm arising from a proposal. Under paragraph 207, Local Planning Authorities should require an applicant to describe the significance of any heritage assets affected including any contribution to their setting when determining planning applications. The paragraph goes on to advise that the level of detail should be proportionate to the assets importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

2.40 The farmhouse is Grade II listed – full details of the listing and its significance as a heritage asset is set out in the submitted Design & Heritage Statement.

2.41 In summary it is considered that the proposed works to the listed farmhouse comprising replacement of the pebble-dashed single storey side extension with a new (slightly larger [16sqm replacing 12sqm]) stone-built extension together with replacement of upvc window frames with timber frames constitutes enhancements to the special character and appearance of the listed building.

- 2.42 Similarly, the sensitive conversion of the barn and the siting of garden to the rear / north with parking / garaging to the east ensures that the relationship between barn and farmhouse is maintained. As such it is considered the proposed conversion will not harm the setting of the listed building.
- 2.43 As such, it is considered that the special interest of the Listed Building (canal bridge) would be preserved and enhanced therefore complying with paragraph 203a which confirms the desirability of enhancing the significance of heritage assets. The proposed development in terms of its design and justification ensures the guidance set out in the NPPF is complied with.

Assessment against NPPF

- 2.44 Assessing the proposal against the main objectives of the NPPF, it is clear the scheme accords with the overarching approach to planning in that:-
- The proposal will assist the LPA in maintaining its supply of housing;
 - The proposal will make most effective use of previously developed land in accordance with guidance set out in Chapter 11 of the NPPF
 - The proposed conversion and extensions are appropriate forms of development in the green belt consistent with para 154 and 155
 - The site is not of any environmental, ecological or landscape value;
 - The site can be safely accessed and will not give rise to any highway safety or capacity issues;
 - The site will not give rise to any flood risk or drainage issues;
 - The proposed replacement extension and re-introduction of timber window frames enhances the significance of the heritage asset (grade II listed farmhouse) whilst the barn conversion also preserves the setting of (and relationship between) the listed farmhouse;
 - As illustrated by the proposed indicative layout and Design Statement, the development proposal will provide a development that is sympathetic to and reflective of the residential character of the surrounding area.

Statutory Development Plan Policies

- 2.45 The Development Plan for Barnsley is formed by the adopted Local Plan (Jan 2019). The relevant policies are set out below:
- Policy SD1 – Presumption in favour of sustainable development
 - Policy GD1 – General Development – this sets out a number of general development control matters to be considered in relation to (inter alia) amenity, landscaping, access and trees.
 - Policy D1 – High Quality Design and Place Making – policy sets out that development is expected to be of a high quality and respect local character. The policy sets out a number of criteria which should be considered
 - Policy GB2 – Replacement, extension and alteration of existing buildings in the Green Belt - Extension or alteration of a building in the green belt will be allowed where the total size of the proposed and previous extensions does not exceed the size of the original building. All development will be expected to be of a high standard of design and respect the character of the existing building and its surroundings and

have no adverse effect on the amenity of local residents, the visual amenity of the area, or highway safety.

- Policy GB3 – Changes of use in the Green Belt - conversion of buildings in the Green Belt will be allowed subject to compliance with a number of criteria including the design of the building, its structural stability / permanence and maintaining the character of the building. All such development will be expected to be of a high standard of design and respect the character of the existing building and its surroundings; have no adverse effect on the amenity of local residents, the visual amenity of the area, or highway safety; and preserve the openness of the Green Belt.
- Policy HE1 – The Historic Environment – The policy seeks to positively encourage developments which will help in the management, conservation, understanding and enjoyment of Barnsley's historic environment, especially for those assets which are at risk. The policy advises that proposals affecting a designated heritage asset should conserve those elements which contribute to its significance.

2.46 These policies are assessed in Section 3.

3.0 Planning Assessment

Principle – supply of housing and Green Belt (conversion of existing dwelling)

Housing Supply

- 3.1 The NPPF seeks to boost the supply of housing (para 61) and encourage the use of previously developed sites (para 73) whilst paragraph 84-c also encourages the re-use of existing buildings. The proposal is consistent with the NPPF in that regard.
- 3.2 The proposed re-use of an existing building is consistent with this guidance.
- 3.3 The proposed conversion will contribute to maintaining the supply of housing in the District.

Green Belt

- 3.4 The site sits in the Green Belt.
- 3.5 The NPPF (para 151) encourages LPA's to look for opportunities to improve the character and appearance of the green belt (inter alia) retain and enhance landscapes, visual amenity and biodiversity or to improve damaged land. The proposal can contribute to these opportunities for enhancement given the appearance of the site at present and delivery of well-considered and sensitive conversion of the building to create a high-quality dwelling.
- 3.6 With regards the proposed conversions / extensions, NPPF Para 154 and 155 sets out the appropriate forms of development in the Green Belt. This includes limited extension / alteration of buildings and conversion of existing buildings. These forms of development are considered appropriate in principle in the green belt.
- 3.7 The proposal is supported by a Structural Appraisal which confirms the stone barn is capable of conversion. The proposed conversion of the barn utilises existing openings with limited new openings (and rooflights) to deliver a family dwelling on site. The proposed garaging is sited adjacent to the barn and listed farmhouse with further retained buildings to the north. As such the new garaging will sit comfortably within the built environs of the existing group of buildings and therefore not harm openness or visual amenity of the green belt in this location. With regards extensions, the proposal includes a replacement extension on the listed farmhouse; the 16sqm pebble dashed single storey side extension will be replaced with a slight larger 20sqm stone built extension on the same footprint. This replacement extension represents a proportionate extension to the host dwelling and will sit comfortably on the host dwelling and within its wider surrounds.
- 3.8 In terms of Local Plan policies, Policies GB2 and GB3 are the most relevant. These confirm that the proposed conversions and extensions / alterations are appropriate forms of development. The garaging for the Farmhouse and barn conversion replace existing buildings and are located in an area where there is evidence of previous buildings. Furthermore, these garage buildings can be justified as clearly being proportionate additions when assessed against existing floor area of the farmhouse and barn. The new garage buildings represent a 22% addition in floor area across the site. Policies GB2 and GB3 are assessed below.

- 3.9 Policy GB2 relates to the replacement, extension and alteration of existing buildings in the Green Belt. The policy is supportive of such proposals provided they do not have a harmful impact on the appearance, or character and will preserve the openness of the Green Belt.
- 3.10 The explanatory text to GB2 confirms that extensions and alterations should be no more than double the size of the original buildings. In this case the proposal includes a replacement extension to the listed farmhouse (replacing a 16sqm extension with a 20sqm extension – increase of 4sqm) together with conversion of the existing barn. The barn conversion does not involve any additional floor area. The proposal also includes the erection of 2 double garage buildings to serve the barn conversion and renovated farmhouse. The garage for the barn includes a small side extension store and would be 61sqm, the farmhouse garage would be 49sqm giving a total new floor area of 110.
- 3.11 The 2 garages would result in an additional 110sqm on site which, when compared with the existing barn (337sqm) and farmhouse (162sqm), represents a 22% increase across the site. Similarly, the slightly larger replacement extension to the farmhouse results in a net gain of 4sqm. In total the proposal results in 114sqm additional floor area – this represents a 23% increase on site, well within the policy allowance of 100%.
- 3.12 The proposed development represents a comprehensive and coherent scheme to deliver an enhanced listed building and new dwelling (conversion) both with private amenity space and parking areas. The proposed development is of a high standard of design that respects the agricultural character of the existing buildings and its surroundings. Each Plot benefits from its own private amenity spaces and there would be no issues of overlooking or loss of privacy. The proposal would enhance the visual amenity of the area and would not harm highway safety. The proposed garages also include bat boxes as part of a policy compliant approach to deliver the required 10% BNG enhancement within the red line of the scheme.
- 3.13 As such the proposal complies with the requirements of Local Plan Policy GB2
- 3.14 Policy GB3 generally allows the conversion of buildings in the Green Belt subject to compliance with a number of criteria. The proposed development complies with the criteria set out in this policy in that:
- *The existing stone barn is of a form, scale and design that is in keeping with its surroundings. The barn has a clear association with the adjacent listed farmhouse and forms an attractive group of buildings within the green belt;*
 - *The existing buildings are of a permanent and substantial construction and a structural survey demonstrates that the building does not need major or complete reconstruction for the proposed new use;*
 - *The proposed conversions retain the agricultural character and form of the buildings and the relationship with the adjacent farmhouse. The conversion is sensitively designed and will not appear incongruous in the wider landscape;*
 - *The loss of the stone barn from agricultural use will not give rise to the need for a replacement agricultural building*

- *The proposed conversion is of a high standard of design and respects the character of the existing building and its surroundings. The conversion utilises existing openings proposing limited new openings / rooflights with the modest domestic curtilage located to the north with garaging to the east, thus retaining the simple relationship between barn and farmhouse across the existing track.*
- *The proposed conversion will benefit from private amenity space to the north and openings have been sited to ensure there are no issues of overlooking or loss of privacy. As such the proposal ensures there is no adverse effect on the amenity of local residents;*
- *The proposed conversion represents a sensitive, high-quality development that will enhance the visual amenity of the area;*
- *The conversion and farmhouse is served by its own parking and turning spaces to the east of the buildings with passing places proposed on the existing access track. As such there will be no detrimental impacts on highway safety;*
- *For the reasons set out above, and can be evidenced in the submitted plans, the proposal will preserve the openness of the Green Belt;*
- *Finally, there are no strong economic reasons why the proposed development would be inappropriate and the proposed residential use is the most appropriate way of maintaining and improving the character and appearance of the building than any other use.*

3.15 In light of the above it is considered the proposal is consistent with guidance set out in the NPPF and Local Plan Policies GB2 and GB3. As such the principle of development is considered to be acceptable.

Design and Residential Amenity

3.16 Local Plan Policy D1 sets out design principles. The site currently comprises a group of buildings previously in agricultural use (stone barn) or currently in domestic use (listed farmhouse) together with smaller agricultural and domestic buildings and the gravelled access track (right of way).

3.17 The proposed barn conversion and replacement side extension on the farmhouse are appropriately designed to retain the character of the buildings and their surrounds whilst the use of stone, blue slate and stone slate are all suitable for the site. The replacement of concrete tiles on the barn with artificial stone slate will bring visual benefits as well as better reflecting the character of the barn and enhancing the setting of the listed building. The simple pitched roof design of the garage buildings on land to the east which has historically included a number of outbuildings is appropriate and re-enforces the character of this tight group of buildings in the green belt. The proposal delivers a coherent scheme resulting in improvements to existing buildings and opportunities for landscape and ecological enhancement.

3.18 The proposed layout ensures the farmhouse and barn benefits from private amenity space together with parking / garaging for at least 2 cars. The layout and design also ensures there are no issues of overlooking or loss of privacy and the scale of the replacement extension ensures it will not be overly dominant

in respect of the host dwelling. The proposed plans together with details set out in the Design and Heritage Statement demonstrates how the proposed development can be comfortably accommodated on the site.

- 3.19 The proposed layout also provides adequate space for additional landscaping as well which will have amenity and ecological benefits. The scheme also allows for provision of bat boxes on the proposed garage buildings.
- 3.20 As such it is considered the proposed development is appropriately designed to reflect its character and appearance, retaining the relationship between the farmhouse and this group of 'agricultural' buildings. The proposal meets the design aspirations of the NPPF and relevant local policies and guidance particularly Local Plan policy D1.

Heritage – Grade II listed farmhouse

- 3.21 With regards heritage assets, the existing farmhouse (formerly 2 cottages) is a grade II listed building. The proposal includes a number of enhancements to the listed building including replace of the pebble dashed side extension with similar in stone, replacement guttering and replacement of upvc windows with timber frames. Full details on the listing and significance of the heritage asset, together with the works proposed, are set out in the submitted Design & Heritage Statement (prepared as required by Local Plan Policy HE2).
- 3.22 Local Plan policy HE1 seeks to positively encourage developments which will help in the management, conservation, understanding and enjoyment of the historic environment. The policy confirms that the LPA will support proposals which conserve and enhance the significance and setting of the borough's heritage assets. The policy continues by advising that proposals affecting a designated heritage asset should conserve those elements which contribute to its significance.
- 3.23 In this case, the proposal involves elements that will enhance the significance and character and appearance of the farmhouse with works that will modernise the building and improving it for modern living. The replacement of upvc window frames with painted timber frames and new guttering will enhance the appearance of the building as will the replacement of the side extension. The existing side extension is single storey pebble with exterior pebble dash and a pitched roof covered in blue slate. The replacement extension will also be to the side and have a pitched roof finished in blue slate. The extension will however be built in stone to match existing farmhouse. In addition, the replacement extension will be slightly larger (by 4 sqm) to accommodate a more useable porch / boot room / utility area to further update the dwelling to a more modern family home.
- 3.24 In light of the above it is considered the proposals will enhance the heritage asset, updating it to modern living standards and improving its appearance. The proposal therefore complies with the requirements of Local Plan Policy HE1.

Highways

- 3.25 The proposal utilises an existing access track which will be widened in three areas to create passing spaces. Land to the east of the farmhouse and barn will be used for parking and garaging as well as providing space to turn. The levels of traffic associated with the proposal (i.e. creation of 1 new dwelling via

conversion) will be low, possibly with fewer movements that were associated with the barn when it was last in use.

- 3.26 The access track is also a public right of way and there are a number of other footpaths surrounding the site (as shown on the submitted plans). A separate application has been lodged to divert the right of way that runs between the farmhouse and barn to the north of the barn, the diversion of the footway would deliver amenity and pedestrian safety benefits.
- 3.27 The proposed development will not give rise to any severe cumulative impacts in terms of safety or capacity.
- 3.28 In summary, the Proposed Development will not have a detrimental impact on the local highway network and is therefore in accordance with the NPPF and the Local Plan policy GD1.

Drainage and Flood Risk

- 3.29 The site is in Flood Zones 1 where there is the lowest risk of flooding and can be developed without increasing the risk of flooding. Surface water run-off rates will be limited to greenfield rates and where practicable SuDS will be utilised.

Ecology and Trees

- 3.30 The ecology survey undertaken confirms the absence of protected species in the barn and on the wider site. There are also no important ecological sites or designations on the site. The ecological survey work has calculated the current habitat value and the submitted EclA advises that land within the red line can be enhanced to meet the statutory 10% BNG. In addition, the proposed garage buildings can incorporate bat, swift and bee boxes / bricks as recommended in the EclA.
- 3.31 The submitted EclA clearly sets out the ecological baseline and the proposed mitigation and enhancement opportunities arising from the proposal. It is considered there will be a net benefits in terms of ecology arising from the proposal.
- 3.32 There are no significant trees within the site. The proposal includes opportunities for new tree and hedgerow planting

4.0 Summary

- 4.1 This Planning Policy Statement has been prepared on behalf of the Executors of Margaret Berry (Deceased) in support of their planning and listed building consent application for conversion of the existing agricultural building to form a dwelling together with refurbishment, including replacement single storey extension, of the adjacent Grade II listed farmhouse on land at Royd Field Farm, Cubley.

Background

- 4.2 The site sits in the green belt and comprises part of the Estate of Margaret Berry deceased. The application is submitted by the executors of the Estate. The buildings have been empty since the passing of Margaret Berry and this proposal seeks to bring them back into active use.
- 4.3 The proposed conversion and limited new build (detached garages), together with improvements to the listed farmhouse, are considered to be appropriate forms of development in the green belt. The proposal brings empty buildings back into active use and delivers wider heritage benefits together opportunities to improve the visual amenity of the site and its surrounds and also delivers BNG enhancements with the red line.

Planning History

- 4.4 There is no relevant planning history associated with the stone barn. The existing white upvc windows were approved in 2007 (LPA reference 2007/1183).

The Site

- 4.5 The site is located off Mortimer Road to the west of Cubley and access is via a country lane (Royd Field Lane). It is part of a former smallholding which also includes a Grade II Listed Farmhouse and a number of small outbuildings. Both the farmhouse, which has been previously used as a dwelling, and the barn are currently unoccupied.
- 4.6 The site sits within designated Green Belt. The site sits within Flood Zone 1 and is not subject to any landscape or ecological designations. A public right of way runs along the existing track with further paths located to the north (currently subject to an application for diversion).
- 4.7 The barn is constructed in stone with a number of openings on both the north and south facing elevations. Roofing materials are currently concrete tile for the main barn with blue slate on the single storey element. The barn is predominantly two storey with a single storey pitch roof addition at its eastern gable.
- 4.8 The listed farmhouse was originally a pair of cottages now knocked into one. It is stone built with welsh slate roof. There is a single storey pitch roof extension to the north gable which is pebble dashed. Existing windows are dressed with stone but frames are white upvc.
- 4.9 Further plans, photos and details on the existing buildings can be found in the technical reports (Design & Heritage; Ecology and Structural Assessment) submitted in support of the proposals.

The Proposal

- 4.10 The proposal seeks to convert the stone barn to a 4-bed family dwelling with improvements to the listed farmhouse to bring it up to modern habitable standards. Access will be taken from the existing track to the west (Royd Field Lane). Two new double garages (stone built) are proposed to serve the barn and farmhouse.
- 4.11 The adjacent Grade II listed farmhouse will be refurbished with the existing rendered single storey side extension demolished and replaced with a stone single storey extension as part of the wider improvements to the heritage asset. Existing upvc windows will be replaced with timber windows whilst other enhancements include replacement guttering, new doors and repointing.
- 4.12 The existing paddock to the north of the barn falls within the red line and will be used for a modest garden area to serve the barn as well as providing opportunities for BNG enhancements together with land to the east adjacent to the proposed garages and to the west along the access track.
- 4.13 Full details of the proposed works are set out in Section 3 of the Design & Heritage Statement.

Summary

- 4.14 In terms of principle, the NPPF seeks to boost the supply of housing (para 61) and encourage the use of previously developed sites (para 73) whilst paragraph 84-c also encourages the re-use of existing buildings. The proposal is consistent with the NPPF in that regard.
- 4.15 The site sits in the Green Belt. The NPPF at paragraphs 154 and 155 confirm that the alteration / extensions of buildings and conversion of existing buildings are forms of development considered appropriate in principle in the green belt.
- 4.16 The proposal is supported by a Structural Appraisal which confirms the barn is capable of conversion. The proposed conversion utilises existing openings whilst proposing limited new openings to deliver an attractive modern family dwelling on site. The new build garage buildings are well located to the main buildings enhancing the character of this group of buildings in the green belt. The new garages represent a 22% increase in built footprint on site, this is clearly proportionate and will not harm function, openness or visual amenity of the green belt in this location. The replacement extension on the listed farmhouse will be 4sqm larger than existing but built in stone (rather than pebble dash) giving visual benefits with only a very small increase in floor area. The proposed conversion and limited extensions / alterations are an appropriate form of development in the green belt that will not harm its function or openness with the design leading to visual enhancement of the site.
- 4.17 Local Plan Policies GB2 and GB3 confirm the extension / alteration and conversion as being appropriate forms of development subject to compliance with a number of criteria. The proposal complies with the criteria set out in GB2 and GB3 and will result in a well-designed conversion scheme that respects the character of the site.
- 4.18 In light of the assessment above, and as demonstrated with the submitted plans, the proposal represents high quality development and will deliver an attractive conversion re-using an existing stone barn which has existed on site for many years.

- 4.19 The proposed replacement extension on the listed building, together with other improvements to modernise the building such as replacing upvc windows with timber and new guttering / pointing will enhance the significant of this listed building. The proposal therefore complies with the aspirations of Local Plan Policy HE1.
- 4.20 In respect of highways, the existing site access will be retained with 3 passing spaces created with both plots served by at least 2 parking spaces and a detached double garage. The quantum of development (1 additional dwelling) will not give rise to any capacity or safety issues.
- 4.21 In respect of ecology, an EclA is submitted identifying enhancement in the form of bat, swift and bee boxes / bricks together with clarification on the opportunities that exist to deliver 10% BNG within the red line application boundary.
- 4.22 Assessing the proposal against the main objectives of the NPPF, it is clear the scheme accords with the overarching approach to planning in that:-
- The proposal will assist the LPA in maintaining its supply of housing;
 - The proposal will make most effective use of previously developed land in accordance with guidance set out in Chapter 11 of the NPPF
 - The proposed conversion and extensions are appropriate forms of development in the green belt consistent with para 154 and 155
 - The site is not of any environmental, ecological or landscape value;
 - The site can be safely accessed and will not give rise to any highway safety or capacity issues;
 - The site will not give rise to any flood risk or drainage issues;
 - The proposed replacement extension and re-introduction of timber window frames enhances the significance of the heritage asset (grade II listed farmhouse) whilst the barn conversion also preserves the setting of (and relationship between) the listed farmhouse;
 - As illustrated by the proposed indicative layout and Design Statement, the development proposal will provide a development that is sympathetic to and reflective of the residential character of the surrounding area.
- 4.23 In light of the above, and as demonstrated on the submitted layout plans and submitted reports, the proposal is consistent with planning policy set out in the NPPF and those within the Barnsley Local Plan and does not give rise to any significant planning issues.
- 4.24 In view of the above, it is considered the scheme satisfies national and local policy and represents a suitable and sustainable development proposal for the site that addresses all the relevant and material considerations. In this context, the proposal satisfies Section 38(6) of the Planning and Compulsory Purchase Act 2004 and it is considered that planning and listed building consent should be granted.